

ADDENDUM #1

December 21, 2012

Re: Harrisburg Area Community College
Central Administration – Wildwood Conference Center Renovations
Phase 2 - Demolition
Solicitation # RFB13-12

From: Eastern PCM, LLC
Construction Manager – HACC
645 N. 12th Street, Suite 200
Lemoyne, PA 17043

To: All Planholders

This Addendum is hereby made part of the Plans and Project Manual dated October 17, 2012 for the above referenced project. The provisions of this Addendum are intended to supplement the provisions of the Plans and Project Manual and/or supersede them where contradictory thereto.

This Addendum contains changes to the requirements of the Plans and Project Manual. Such changes shall be incorporated into the Plans and Project Manual and shall apply to work with the same meaning and force as if they had been included in the original Plans and Project Manual. Where this Addendum modifies a portion of a paragraph or phrase of the Project Manual, the remaining unmodified portion of the paragraph or phrase shall remain in force.

The conditions and terms of the Plans and Project Manual shall govern work described in this Addendum. Whenever the conditions of work, or the quality or quantity of materials or workmanship are not fully described in this Addendum, the conditions of work etc. included in the Plans and Project Manual for similar items of work shall apply to the work described in this Addendum. If no similar items of work are included in the Plans and Project Manual, the quality of material and workmanship shall be subject to the written acceptance of the Architect.

1.1 PRE-BID MEETING MINUTES

Meeting minutes from the Pre-Bid Meeting held on December 19, 2012 are attached and are a part of this Addendum. In the event of a conflict between the information contained in the Pre-Bid Meeting Notes and the Drawings, Specifications and responses to questions contained in this Addendum, the latter shall take precedence.

1.3 CHANGES TO THE SPECIFICATIONS

A. 01500 – Temporary Facilities and Controls: REPLACE this section in its entirety.

- B. 02930 – Landscape Work
 - a. Section 2.02.E: DELETE this section in its entirety.
 - b. Section 2.04: DELETE this section in its entirety.

1.4 CHANGES TO THE DRAWINGS

- A. Cover Sheet:
 - a. ADD “A8.4 – Demolition and New Wall Sections” to the Drawing List
 - b. ADD “H1.3 – Large Scale Penthouse Roof Demolition Plan – Section A – HVAC – Ductwork” to the Drawing List.
- B. Drawing X2.4: REPLACE this sheet in its entirety.
- C. Drawing X2.5: REPLACE this sheet in its entirety.
- D. Drawing X2.6: REPLACE this sheet in its entirety.
- E. Drawing X2.8: REPLACE this sheet in its entirety.
- F. Drawing X2.9: REPLACE this sheet in its entirety.
- G. Drawing X3.1: REPLACE this sheet in its entirety.
- H. Drawing X3.2: REPLACE this sheet in its entirety.
- I. Drawing A2.4: REPLACE this sheet in its entirety.
- J. Drawing A2.5: REPLACE this sheet in its entirety.
- K. Drawing A2.6: REPLACE this sheet in its entirety.
- L. Drawing A2.8: REPLACE this sheet in its entirety.
- M. Drawing A2.9: REPLACE this sheet in its entirety.
- N. Drawing A3.1: REPLACE this sheet in its entirety.
- O. Drawing A3.2: REPLACE this sheet in its entirety.
- P. Drawing A8.4 – ADD this sheet to the drawing set.
- Q. Drawing H1.3 – ADD this sheet to the drawing set.

1.5 CHANGES TO THE DETAIL REFERENCE MANUAL

- A. Index-1 – REPLACE this page in its entirety.
- B. N-2 – REPLACE this page in its entirety.
- C. N-3 – REPLACE this page in its entirety.
- D. L-2 – REPLACE this page in its entirety.

- E. AD-2 – REPLACE this page in its entirety.
- F. AD-6 – REPLACE this page in its entirety.
- G. AD-8 – REPLACE this page in its entirety.
- H. AD-9 – REPLACE this page in its entirety.
- I. AD-13 – REPLACE this page in its entirety.
- J. AD-14 – REPLACE this page in its entirety.
- K. AD-15 – REPLACE this page in its entirety.
- L. AD-16 – REPLACE this page in its entirety.
- M. AD-18 – REPLACE this page in its entirety.
- N. AD-20 – REPLACE this page in its entirety.
- O. AD-21 – REPLACE this page in its entirety.
- P. AD-22 – REPLACE this page in its entirety.
- Q. AD-23 – REPLACE this page in its entirety.
- R. AD-35 – ADD this page to the Detail Reference Manual.
- S. MDT-2 – REPLACE this page in its entirety.
- T. MDT-3 – REPLACE this page in its entirety.
- U. MDT-4 – REPLACE this page in its entirety.
- V. MDT-5 – REPLACE this page in its entirety.
- W. MDT-8 – DELETE this page in its entirety.
- X. MDT-11 – REPLACE this page in its entirety.
- Y. MDT-23 – REPLACE this page in its entirety.
- Z. MDT-27 – REPLACE this page in its entirety.
- AA. MDT-33 – REPLACE this page in its entirety.
- BB. MDT-35 – ADD this page to the Detail Reference Manual.
- CC. MDT-36 – ADD this page to the Detail Reference Manual
- DD. MDT-37 – ADD this page to the Detail Reference Manual.
- EE. RD-9 – REPLACE this page in its entirety.

FF. RD-10 – REPLACE this page in its entirety.

GG. RD-11 – REPLACE this page in its entirety.

HH. RD-12 – REPLACE this page in its entirety.

II. MDT-17 – ADD this page to the Detail Reference Manual.

JJ. MDT-18 – ADD this page to the Detail Reference Manual.

KK. MDT-19 – ADD this page to the Detail Reference Manual.

LL. MDT-20 – ADD this page to the Detail Reference Manual.

1.6 ATTACHMENTS

A. Specification Section 01500 – Temporary Facilities and Controls (revised 12.21.12)

B. Drawing X2.4 – Large Scale First Floor Demolition Plan – Section A (revised 12.21.12)

C. Drawing X2.5 – Large Scale First Floor Demolition Plan – Section B (revised 12.21.12)

D. Drawing X2.5 – Large Scale Second Floor Demolition Plan – Section A (revised 12.21.12)

E. Drawing X2.8 – Large Scale Roof Demolition Plan – Section A (revised 12.21.12)

F. Drawing X2.9 – Large Scale Roof Demolition Plan – Section B (revised 12.21.12)

G. Drawing X3.1 – Exterior Elevations – Demolition – North and East (revised 12.21.12)

H. Drawing X3.2 – Exterior Elevations – Demolition – South and West (revised 12.21.12)

I. Drawing A2.4 – Large Scale First Floor New Plan – Section A (revised 12.21.12)

J. Drawing A2.5 – Large Scale First Floor New Plan – Section B (revised 12.21.12)

K. Drawing A2.6 – Large Scale Second Floor New Plan – Section A (revised 12.21.12)

L. Drawing A2.8 – Large Scale New Roof Plan – Section A (revised 12.21.12)

M. Drawing A2.9 – Large Scale New Roof Plan – Section B (revised 12.21.12)

N. Drawing A3.1 – Exterior Elevations – New – North and East (revised 12.21.12)

O. Drawing A3.2 – Exterior Elevations – New – South and West (revised 12.21.12)

P. Drawing A8.4 – Demolition and New Wall Sections

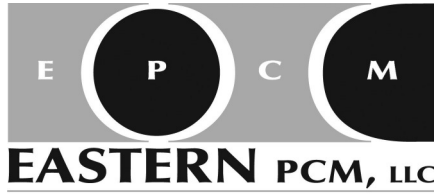
Q. Drawing H1.3 – Large Scale Penthouse Roof Demolition Plan – Section A – HVAC – Ductwork

R. Index-1 – Detail Reference Manual Index (revised 12.21.12)

- S. N-2 – Demolition Keynotes (revised 12.21.12)
- T. N-3 – Demolition Keynotes (revised 12.21.12)
- U. L-2 – New Construction Keynotes (revised 12.21.12)
- V. AD-2 – Aluminum Detail (revised 12.21.12)
- W. AD-6 – Aluminum Detail (revised 12.21.12)
- X. AD-8 – Aluminum Detail (revised 12.21.12)
- Y. AD-9 – Aluminum Detail (revised 12.21.12)
- Z. AD-13 – Aluminum Detail (revised 12.21.12)
- AA.AD-14 – Aluminum Detail (revised 12.21.12)
- BB. AD-15 – Aluminum Detail (revised 12.21.12)
- CC. AD-16 – Aluminum Detail (revised 12.21.12)
- DD. AD-18 – Aluminum Detail (revised 12.21.12)
- EE. AD-20 – Aluminum Detail (revised 12.21.12)
- FF. AD-21 – Aluminum Detail (revised 12.21.12)
- GG. AD-22 – Aluminum Detail (revised 12.21.12)
- HH. AD-23 – Aluminum Detail (revised 12.21.12)
- II. AD-35 – Enlarged Window Flashing Details
- JJ. MDT-2 – Second Floor Sunshade Attachment (revised 12.21.12)
- KK. MDT-3 – Second Floor Sunshade Attachment Between Window Locations (revised 12.21.12)
- LL. MDT-4 – Bent Plate Detail (revised 12.21.12)
- MM. MDT-5 – Plate Detail (revised 12.21.12)
- NN. MDT-11 – Planter Detail (revised 12.21.12)
- OO. MDT-23 – Planter Detail (revised 12.21.12)
- PP. MDT-27 – Planter Detail (revised 12.21.12)
- QQ. MDT-33 – Planter Detail (revised 12.21.12)
- RR. MDT-35 – Structural Cooling Tower Infill

- SS. MDT-36 – Typical Sealant Detail
- TT. MDT-37 – Typical Sealant Detail
- UU. RD-9 – Roof Detail (revised 12.21.12)
- VV. RD-10 – Roof Detail (revised 12.21.12)
- WW. RD-11 – Roof Detail (revised 12.21.12)
- XX. RD-12 – Roof Detail (revised 12.21.12)
- YY. RD-17 – Cooling Tower Relief Vent – Demolition
- ZZ. RD-18 – Cooling Tower Relief Vent – Demolition
- AAA. RD-19 – Roof Detail
- BBB. RD-20 – Roof Detail
- CCC. SKA-1 – Partial Large Scale Demolition Second Floor Plan – Section A
- DDD. SKA-2 – Partial Large Scale New Second floor Plan – Section A
- EEE. “Wildwood” Addition to Hall Technology Building Construction Drawings, Dated 11/9/90: for reference only.

END OF ADDENDUM



Please sign and return this page, via fax, to Eastern PCM, LLC at (717) 233-1666 indicating receipt of this Addendum.

**HACC Central Administration Building
Phase 2 – Building Envelope Renovations**

Addendum # _____ has been received.

Company: _____
Print Company Name

Received By: _____
Print Name Signature

Date: _____

Please check one:

- _____ We are bidding as a prime contractor
- _____ We are not bidding
- _____ We are a sub-contractor

**HACC, Central Pennsylvania's Community College
Central Administration – Wildwood Conference Center Renovations
Phase 2 – Building Envelope Renovations**

Pre-Bid Meeting

December 19, 2012
9:00 AM

Meeting Minutes

Attendees

Joe Wojtysiak – HACC	Bobby Maro – D.A. Nolt, Inc.
Benedict Dubbs – Murray Associates Architects	Jere Wentz – Double 'D' Roofing
Herman Fischer – Murray Associates Architects	Brian Hutchinson – Hutchinson Construction, LLC
Reds Keffer – Tri County Roofing, Inc.	Billy Eichelberger – ECI Construction
Bruce Love – Brechbill and Helman	Ron Nolt – The Warko Group
Cameron Shaffner – Roofers Edge, Inc.	David Lausch– Richard Sensenig Co.
Don Beinhour – McCoy Brothers	Grant Marshman – C & D Waterproofing Corp.
Justin Gwinn – Heidler Roofing	Troy Spigelmyer – TRS Roofing, Inc.
Matt Moul – Houck Services, Inc.	Bob Norton – Heidler Roofing
Eric Meacharm – Titan Construction	Troy Clark – Titan Construction
Wayne Snyder – TGW	Dave Chonoski – Eastern PCM, LLC
Dennis Kowalski – Spotts Brothers, Inc.	Justin Kovaleski – Eastern PCM, LLC
Austin Rhodes – Houck & Company	Sarah Centini – Eastern PCM, LLC (Author)

1.0 Mr. Kovaleski welcomed all attendees.

1.1 Introduction of Team

- | | |
|----------------------------|--|
| a) Owner | Harrisburg Area Community College
Joseph Wojtysiak
Campus Senior Director,
Facilities Manager |
| b) Architect | Murray Associates Architects, P.C.
Benedict Dubbs
Principal |
| c) Engineer | Brinjac Engineering, Inc.
Michael Jacobs
Senior Engineering Manager |
| d) Construction
Manager | Eastern PCM, LLC
Bill Morgan
Justin Kovaleski
David Chonoski
Project Executive
Project Manager
Construction Manager |

1.2 Mr. Kovaleski noted that Bid Documents were available for purchase at the meeting. The Bid Form is made up of four documents, all of which must be filled out completely. A Bid Security is required in the amount of 10% of the total bid. A Non-Collusion Affidavit and a MBE/WBE Utilization Form are required.

1.3 Schedule

Bid Date	Tuesday, January 15, 2013 at Penn Center - Room 223, no later than 2:00 PM.
Contract Award	February 6, 2013; subject to Board of Trustees Approval
Construction Start	February 18, 2013; subject to the execution of the contract
Substantial Completion	June 14, 2013

1.4 All questions are to be directed to the office of the Construction Manager in writing via fax or e-mail (attn: Justin Kovaleski): Fax (717) 233-1666, E-mail: epcm@easternpcm.com. The last day for questions is Tuesday, January 8, 2013 by 12:00 PM.

1.5 Meeting minutes from the pre-bid meeting will be issued with Addendum #1. Additional addenda will be issued as required.

1.6 This is a Prevailing Wage Rate Project. Rates can be found in the Project Manual, Specification 00820.

1.7 It is the intention of the Design Team to acquire LEED Silver Certification. Any LEED documentation shall be sent to EPCM and will then be forwarded to Murray Associates Architects. Mr. Dubbs noted that strict documentation of salvaged material is expected to keep all LEED documentation up to date.

1.8 The General Building Permit for Phase 2 will be obtained by and paid for by the Owner. All trade specific permits (i.e. Electrical, Plumbing, etc.) are to be obtained and paid for by applicable contractors in accordance with jurisdictional requirements.

1.9 Project Overview

The work will be performed under two (2) Prime Contracts consisting of the removal and replacement of approximately 20,000 SF of roofing systems, selective masonry demolition and reconstruction, installation of new glazed aluminum curtain wall, exterior signage, and exterior façade repairs.

Work includes requirements for recycling, salvaging, and reuse of demolition waste and existing materials and equipment as specified. Specification Section 01524 – Construction Waste Management includes specific administrative and procedural requirements for this work.

1.10 A temporary construction fence will be provided by the Owner. A sketch of the fence layout was provided with the agenda and is attached hereto. Any additional safety measures shall be the responsibility of each respective Contractor.

1.11 Mr. Kovaleski noted that the adjacent building, Hall Tech, will be occupied throughout construction. All occupied areas must be left in existing condition.

- 1.12 Mr. Chonoski stated that contractors should use Gate 4 off of Industrial Road for all parking, unless vehicles are making deliveries. Vehicles making deliveries will be granted access to the construction site.
 - 1.13 Mr. Dubbs stated that, as noted in the bid documents, the stone ballast on the roof is to be removed, stored and used for edging around the building. A portion of the stone ballast is to be removed and reinstalled and is noted as such on the Drawings.
 - 1.14 Inquiries were made about the existing insulation in the roof. Mr. Dubbs noted that he believes the existing insulation to be 3 ½" thick. He suggested original drawings be made available for all bidders.

Post Meeting Note: The original building drawings have been included with Addendum #1.
 - 1.15 Mr. Dubbs was asked to provide clarification on the small first floor roof beneath the penthouse. Mr. Dubbs will clarify in an Addendum.
 - 1.16 Mr. Dubbs was asked to provide clarification on the tapering system on the roof. Mr. Dubbs will clarify in an Addendum.
 - 1.17 An inquiry was made about the roof system. In one section of the Project Manual it calls for FM 160 and in another it calls for FM 190. This item will be clarified in an Addendum.
 - 1.18 Mr. Dubbs noted that modifications to the penthouse roof will be provided in an Addendum.
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Respectfully Submitted,
Sarah E. Centini, Eastern PCM, LLC

The above summations are the interpretation of the author as to the items discussed and the decisions reached. Corrections or additions to these minutes are to be made in writing and sent to the attention of the Author no later than 5 days after receipt; otherwise, these minutes will stand as written.

cc: All Attendees

SECTION 01500 – TEMPORARY FACILITIES AND CONTROLS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes requirements for temporary facilities and controls, including temporary utilities, support facilities, and security and protection facilities. Each Contractor is responsible for installation, operation, maintenance, and removal of each temporary facility usually considered as its own normal construction activity, and costs associated with each facility. The Contractor shall provide all temporary facilities and controls not specified to be by others herein, or elsewhere.
- B. Each Contractor is responsible for the following temporary utilities which include, but are not limited to, the following unless noted otherwise:
 - 1. Water service and distribution. Water service will be provided free of charge by the Owner.
 - 2. Sanitary facilities, including toilets, wash facilities, and drinking-water facilities by Contract No. 2.
 - 3. Heating and dehumidification facilities.
 - 4. Ventilation. Responsibility: Each Contractor is responsible for their own ventilation in accordance with OSHA regulations.
 - 5. Electric power service.
 - 6. Lighting.
 - 7. Telephone service.
- C. Support facilities include, but are not limited to, the following as required by each Contractor to perform their work and as approved by the Construction Manager:
 - 1. Temporary roads, paving, maintenance, removal and restoration.
 - 2. Dewatering facilities and drains.
 - 3. Project identification and temporary signs.
 - 4. Waste disposal facilities.
 - 5. Field offices complete with necessary furniture, utilities, and telephone service. Storage and fabrication sheds.
 - 6. Lifts and hoists.
 - 7. Construction aids and miscellaneous services and facilities.

- D. Security and protection facilities include, but are not limited to, the following:
1. Environmental protection per local, state and federal regulations.
 2. Stormwater control.
 3. Tree and plant protection.
 4. Pest control.
 5. Security enclosure and lockup.
 6. Barricades, warning signs, and lights.
 7. Temporary enclosures.
 8. Temporary partitions.
 9. Fire protection per OSHA regulations.
- E. Related Sections include the following:
1. Division 1 Section "Submittal Procedures" for procedures for submitting copies of implementation and termination schedule and utility reports.
 2. Division 1 Section "Execution Requirements" for progress cleaning requirements.
 3. Divisions 2 through 16 for temporary heat, ventilation, and humidity requirements for products in those Sections.

1.3 DEFINITIONS

- A. Permanent Enclosure: As determined solely by Architect, permanent roofing is complete, insulated, and weather tight; exterior walls are insulated and weather tight; and all openings are closed with permanent construction or substantial temporary closures.

1.4 USE CHARGES

- A. For all normal use construction activities the contractor shall have unrestricted use of existing utilities. For heavy use activities, such as welding, the contractor shall seek permission, coordinate activities and use charges with the Owner's Representative.

1.5 SUBMITTALS

- A. Temporary Utility Reports: Submit reports of tests, inspections, meter readings, and similar procedures performed on temporary utilities.
- B. Implementation and Termination Schedule: Within 15 days of date established for submittal of Contractor's Construction Schedule and in concert with all Contractors responsible for temporary utilities, Contract No. 2 shall submit a schedule indicating implementation and termination of each temporary utility.

1.6 QUALITY ASSURANCE

- A. Standards: Comply with ANSI A10.6, NECA's "Temporary Electrical Facilities," and NFPA 241.
 - 1. Electric Service: Comply with NECA, NEMA, and UL standards and regulations for temporary electric service. Install service to comply with NFPA 70.
- B. Tests and Inspections: Arrange for authorities having jurisdiction to test and inspect each temporary utility before use. Obtain required certifications and permits.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. General: Provide new materials. Undamaged, previously used materials in serviceable condition may be used if approved by Construction Manager. Provide materials suitable for use intended.
- B. Gypsum Board: Minimum 1/2 inch thick by 48 inches wide by maximum available lengths; regular-type panels with tapered edges. Comply with ASTM C 36.
- C. Insulation: Unfaced mineral-fiber blanket, manufactured from glass, slag wool, or rock wool; with maximum flame-spread and smoke-developed indices of 25 and 50, respectively.
- D. Paint: Comply with requirements in Division 9 Section "Painting."
- E. Tarpaulins: Fire-resistive labeled with flame-spread rating of 15 or less.
- F. Water: Potable.

2.2 EQUIPMENT

- A. General: Provide equipment suitable for use intended.
- B. Fire Extinguishers: Hand carried, portable, UL rated; provide 10 LB ABC extinguishers spaced around jobsite (hung at visible locations) to meet NFPA, OSHA and local Fire Marshall's requirements.
 - 1. In addition provide extinguishers complying with NFPA 10 and NFPA 241 for exposure classification, extinguishing agent, and size required by location and class of fire exposure.
- C. Self-Contained Toilet Units: Single-occupant units of chemical type; vented; fully enclosed and screened with a glass-fiber-reinforced polyester shell or similar nonabsorbent material.
- D. Electrical Outlets: Properly configured, NEMA-polarized outlets to prevent insertion of 110- to 120-V plugs into higher-voltage outlets; equipped with ground-fault circuit interrupter, reset button, and pilot light.

- E. Power Distribution System Circuits: Where permitted and overhead and exposed for surveillance, wiring circuits, not exceeding 125-V ac, 20-A rating, and lighting circuits may be nonmetallic sheathed cable.

PART 3 - EXECUTION

3.1 INSTALLATION, GENERAL

- A. Locate facilities where they will serve Project adequately and result in minimum interference with performance of the Work. Relocate and modify facilities as required.
- B. Provide each facility ready for use when needed to avoid delay. Maintain and modify as required. Do not remove until facilities are no longer needed or are replaced by authorized use of completed permanent facilities.

3.2 TEMPORARY UTILITY INSTALLATION

- A. General: Contractor to verify available power and supplement if required.
 - 1. Arrange with utility company, Construction Manager, and existing users for time when service can be interrupted, if necessary, to make connections for temporary services.
 - 2. Provide adequate capacity at each stage of construction. Before temporary utility is available, provide trucked-in services.
 - 3. Obtain easements to bring temporary utilities to Project site where Owner's easements cannot be used for that purpose.
- B. Water Service:
 - 1. Provide rubber hoses as necessary to serve Project site.
 - 2. Where installations below an outlet might be damaged by spillage or leakage, provide a drip pan of suitable size to minimize water damage. Drain accumulated water promptly from pans.
 - 3. Label temporary water service outlet as "DO NOT DRINK".
- C. Sanitary Facilities: Contract No. 2 to provide and service two portable toilets. Use of existing facilities is prohibited.
- D. Heating and Dehumidification: Provide temporary heating and dehumidification required by construction activities for curing or drying of completed installations or for protecting installed construction from adverse effects of low temperatures or high humidity. Select equipment from that specified that will not have a harmful effect on completed installations or elements being installed.
 - 1. Maintain a minimum temperature of 50 deg F in permanently enclosed portions of building for normal construction activities, and 65 deg F for finishing activities and areas where finished Work has been installed.

2. Control relative humidity in building when installing finishes so that RH does not exceed 60% or comply with more stringent requirement of finish manufacturer.
- E. Ventilation and Humidity Control: Provide temporary ventilation required by construction activities for curing or drying of completed installations or for protecting installed construction from adverse effects of high humidity. Select equipment from that specified that will not have a harmful effect on completed installations or elements being installed. Coordinate ventilation requirements to produce ambient condition required and minimize energy consumption.
1. Protect workers or occupants from excessive carbon monoxide levels created by internal combustion motors inside building envelope.
- F. Electric Power Service: Provide weatherproof, grounded electric power service and distribution system of sufficient size, capacity, and power characteristics during construction period. Include transformers, overload-protected disconnecting means, automatic ground-fault interrupters, and main distribution switchgear.
1. Install power distribution wiring overhead and rise vertically where least exposed to damage.
 2. Connect temporary service to existing building, as directed by electric company officials and Owner's Staff.
 3. Provide adequate power for contractors' field offices at the direction of the construction manager.
 4. Provide warning signs at power outlets other than 110 to 120 V.
 5. Provide metal conduit, tubing, or metallic cable for wiring exposed to possible damage. Provide rigid steel conduits for wiring exposed on grades, floors, decks, or other traffic areas.
 6. Provide metal conduit enclosures or boxes for wiring devices.
- G. Electric Distribution: Each Contractor shall provide OSHA approved receptacle outlets adequate for connection of power tools and equipment.
1. Provide waterproof connectors to connect separate lengths of electrical power cords if single lengths will not reach areas where construction activities are in progress. Do not exceed safe length-voltage ratio.
 2. Provide warning signs at power outlets other than 110 to 120 V.
 3. Provide metal conduit, tubing, or metallic cable for wiring exposed to possible damage. Provide rigid steel conduits for wiring exposed on grades, floors, decks, or other traffic areas.
 4. Provide metal conduit enclosures or boxes for wiring devices.
- H. Lighting: Provide temporary building and site lighting with local switching that provides adequate illumination for construction operations and traffic conditions as required for the work of the contract. Lighting shall meet OSHA requirements and added requirements below:
1. Install and operate temporary lighting that fulfills security and protection requirements without operating entire system.

2. Temporary lighting shall be provided to meet or exceed the Occupational Safety and Health Administration (OSHA) Regulations Standards – 29 CFR Standard Number 1926.56 Illumination while any work is in progress:
 - a. 3 footcandles – General concrete placement, excavation and waste areas, access ways, storage, loading platforms, refueling, and field maintenance.
 - b. 5 footcandles – for all general construction area lighting, indoor warehouses, corridors, hallways, stairwells, and exit ways.
 - c. 10 footcandles – mechanical rooms, electrical and data equipment rooms, carpenter shops, rigging lofts, active indoor toilets.
 - d. 30 footcandles – first aid stations and active offices.
3. Install exterior-yard site lighting that will provide adequate illumination for construction operations, traffic conditions, and security and signage visibility as required when the Work is being performed.

3.3 SUPPORT FACILITIES INSTALLATION

A. General: Comply with the following:

1. Locate field offices, storage sheds, sanitary facilities, and other temporary construction and support facilities for easy access and as acceptable to Construction Manager.
2. Provide incombustible construction for offices, shops, and sheds located within construction area or within 30 feet of building lines. Comply with NFPA 241.
3. Maintain support facilities until Substantial Completion. Remove before Substantial Completion. Personnel remaining after Substantial Completion will be permitted to use permanent facilities, under conditions acceptable to Owner.

B. Temporary Roads and Paved Areas: Construct and maintain temporary road ways and paved areas adequate to support loads and to withstand exposure to traffic during construction period. Locate temporary roads and paved areas within construction limits indicated on Drawings.

1. Contractor personnel shall not park in existing parking lots as directed by the Construction Manager.
2. Provide dust-control treatment that is nonpolluting and nontracking. Reapply treatment as required to minimize dust.
3. Provide paved gravel roadways for crane travel, lift stations, and flatbed truck staging.

C. Snow Removal: Remove all snow from work areas, temporary road, temporary parking, and trailer sidewalks.

D. Traffic Controls: Provide temporary traffic controls at junction of temporary roads with public roads. Include warning signs for public traffic and "STOP" signs for entrance onto public roads. Comply with requirements of authorities having jurisdiction.

E. Dewatering Facilities and Drains: Comply with requirements in applicable Division 2 Sections for temporary drainage and dewatering facilities and operations not directly

associated with construction activities included in individual Sections. Where feasible, use same facilities. Maintain Project site, excavations, and construction free of water.

1. Dispose of rainwater in a lawful manner that will not result in flooding Project or adjoining property nor endanger permanent Work or temporary facilities.
2. Before connection and operation of permanent drainage piping system, provide temporary drainage where roofing or similar waterproof deck construction is completed.
3. Remove snow and ice as required to minimize accumulations.

F. Project Identification and Temporary Signs: Provide Project identification and other signs as indicated on Drawings following this Section. Install signs where indicated to inform public and individuals seeking entrance to Project. Unauthorized signs are not permitted.

1. Provide temporary, directional signs for construction personnel and visitors.
2. Maintain and touch up signs so they are legible at all times
3. Project Identification Sign: Refer to details following this Section. Coordinate with Architect and Construction Manager for their company logo graphics.

G. Waste Disposal Facilities: Provide dumpsters with canvas covers to be secured tightly in place around rim at the end of the working day; empty dumpsters off site when full. Remove all construction trash and debris from building and from site and dispose of off-site. Refer to LEED specifications for additional requirements.

3.4 SECURITY AND PROTECTION FACILITIES INSTALLATION

A. Tree and Plant Protection: Install temporary fencing located outside the drip line of trees to protect vegetation from construction damage. Protect tree root systems from damage, flooding, and erosion.

B. Barricades, Warning Signs, and Lights: Comply with standards and code requirements for erecting structurally adequate barricades. Paint with appropriate colors, graphics, and warning signs to inform personnel and public of possible hazard. Where appropriate and needed, provide lighting, including flashing red or amber lights.

1. For safety barriers, sidewalk bridges, and similar uses, provide minimum 5/8-inch-thick exterior plywood.

C. Temporary Enclosures: Provide temporary enclosures for protection of construction, in progress and completed, from exposure, foul weather, other construction operations, and similar activities. Provide temporary weather tight enclosure for building exterior.

1. Where heating or cooling is needed and permanent enclosure is not complete, provide insulated temporary enclosures. Coordinate enclosure with ventilating and material drying or curing requirements to avoid dangerous conditions and effects.
2. Vertical Openings: Close openings of 25 sq. ft. or less with plywood or similar materials.

3. Horizontal Openings: Close openings in floor or roof decks and horizontal surfaces with load-bearing, wood-framed construction.
 4. Install tarpaulins securely using fire-retardant-treated wood framing and other materials.
 5. Where temporary wood or plywood enclosure exceeds 100 sq. ft. in area, use fire-retardant-treated material for framing and main sheathing.
- D. Temporary Partitions: Erect and maintain dustproof partitions and temporary enclosures to limit dust and dirt migration and to separate areas from fumes and noise.
1. Construct dustproof partitions of not less than nominal 4-inch studs, 5/8-inch gypsum wallboard with joints taped on occupied side, and 1/2-inch fire-retardant plywood on construction side.
 2. Insulate partitions to provide noise protection to occupied areas.
 3. Seal joints and perimeter. Equip partitions with dustproof doors and security locks.
 4. Protect air-handling equipment.
 5. Weather strip openings.
- E. Temporary Fire Protection: Until fire-protection needs are supplied by permanent facilities, install and maintain temporary fire-protection facilities of types needed to protect against reasonably predictable and controllable fire losses. Comply with NFPA 241.
1. Provide fire extinguishers, installed on walls on mounting brackets, visible and accessible from space being served, with sign mounted above.
 - a. Field Offices: Class A stored-pressure water-type extinguishers.
 - b. Other Locations: Class ABC dry-chemical extinguishers or a combination of extinguishers of NFPA-recommended classes for exposures.
 - c. Locate fire extinguishers where convenient and effective for their intended purpose; provide not less than one extinguisher on each floor at or near each usable stairwell.
 2. Store combustible materials in containers in fire-safe locations.
 3. Maintain unobstructed access to fire extinguishers, fire hydrants, temporary fire-protection facilities, stairways, and other access routes for firefighting. Prohibit smoking in hazardous fire-exposure areas.
 4. Supervise welding operations, combustion-type temporary heating units, and similar sources of fire ignition.
 5. Permanent Fire Protection: At earliest feasible date in each area of Project, complete installation of permanent fire-protection facility, including connected services, and place into operation and use. Instruct key personnel on use of facilities.
 6. Provide hoses for fire protection of sufficient length to reach construction areas. Hang hoses with a warning sign stating that hoses are for fire-protection purposes only and are not to be removed. Match hose size with outlet size and equip with suitable nozzles.

3.5 OPERATION, TERMINATION, AND REMOVAL

- A. Supervision: Enforce strict discipline in use of temporary facilities. To minimize waste and abuse, limit availability of temporary facilities to essential and intended uses.

- B. Contractor shall secure the lockup of its tools, materials, and equipment. The Owner will not be responsible for replacing or reimbursing Contractor for missing, stolen, vandalized or damaged items.
- C. Progress cleaning: Contractor to clean its work areas on a daily basis and deposit trash into a dumpster.
- D. Final Cleaning: Contractor is responsible for final cleaning of buildings and the removal of construction debris from the site.
- E. Maintenance: Maintain facilities in good operating condition until removal. Protect from damage caused by freezing temperatures and similar elements.
 - 1. Maintain operation of temporary enclosures, heating, cooling, humidity control, ventilation, and similar facilities on a 24-hour basis where required to achieve indicated results and to avoid possibility of damage.
- F. Temporary Facility Changeover: Except for using permanent fire protection as soon as available do not change over from using temporary security and protection facilities to permanent facilities until Substantial Completion.
- G. Termination and Removal: Remove each temporary facility when need for its service has ended, when it has been replaced by authorized use of a permanent facility, or no later than Substantial Completion. Complete or, if necessary, restore permanent construction that may have been delayed because of interference with temporary facility. Repair damaged Work, clean exposed surfaces, and replace construction that cannot be satisfactorily repaired.
 - 1. Materials and facilities that constitute temporary facilities are the property of Contractor.
 - a. Owner reserves right to take possession of Project identification signs.
 - 2. Remove temporary paving not intended for or acceptable for integration into permanent paving. Where area is intended for landscape development, remove soil and aggregate fill that do not comply with requirements for fill or subsoil. Remove materials contaminated with road oil, asphalt and other petrochemical compounds, and other substances that might impair growth of plant materials or lawns. Repair or replace street paving, curbs, and sidewalks at temporary entrances, as required by authorities having jurisdiction.
 - 3. At Substantial Completion, clean and renovate permanent facilities used during construction period. Comply with final cleaning requirements in Division 1 Section "Closeout Procedures."

3.6 SITE WORKPLACE REGULATIONS

- A. Construction personnel at the site shall not engage in the following behavior; if stated behavior is observed, the offending worker will be directed to leave the site permanently by the Owner's onsite representative. Upon notification of the worker's Superintendent, the unacceptable worker shall gather their tools and personal belongings and vacate the site

immediately and without delay. The worker shall not return to the site until final payment has been received by each Contractor or upon approval to do so by the Owner's representative. The following behavior, or other behavior deemed inappropriate or unsafe in the workplace, will form the basis for dismissal from the site:

1. Smoking or the use of any tobacco product is not permitted in or within 50 feet of the structure.
2. Foul or abusive behavior (including language) is forbidden.
3. Disruptive behavior threatening jobsite productivity is forbidden.
4. Vandalism or malicious behavior is forbidden.
5. Being present under the influence of alcohol, mind altering legal or illegal drugs is forbidden.
6. Improper dress as deemed inappropriate or unsafe by the Owner's Representative.
7. Consistent disregard for workplace cleanliness.

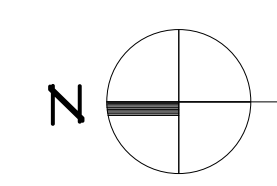
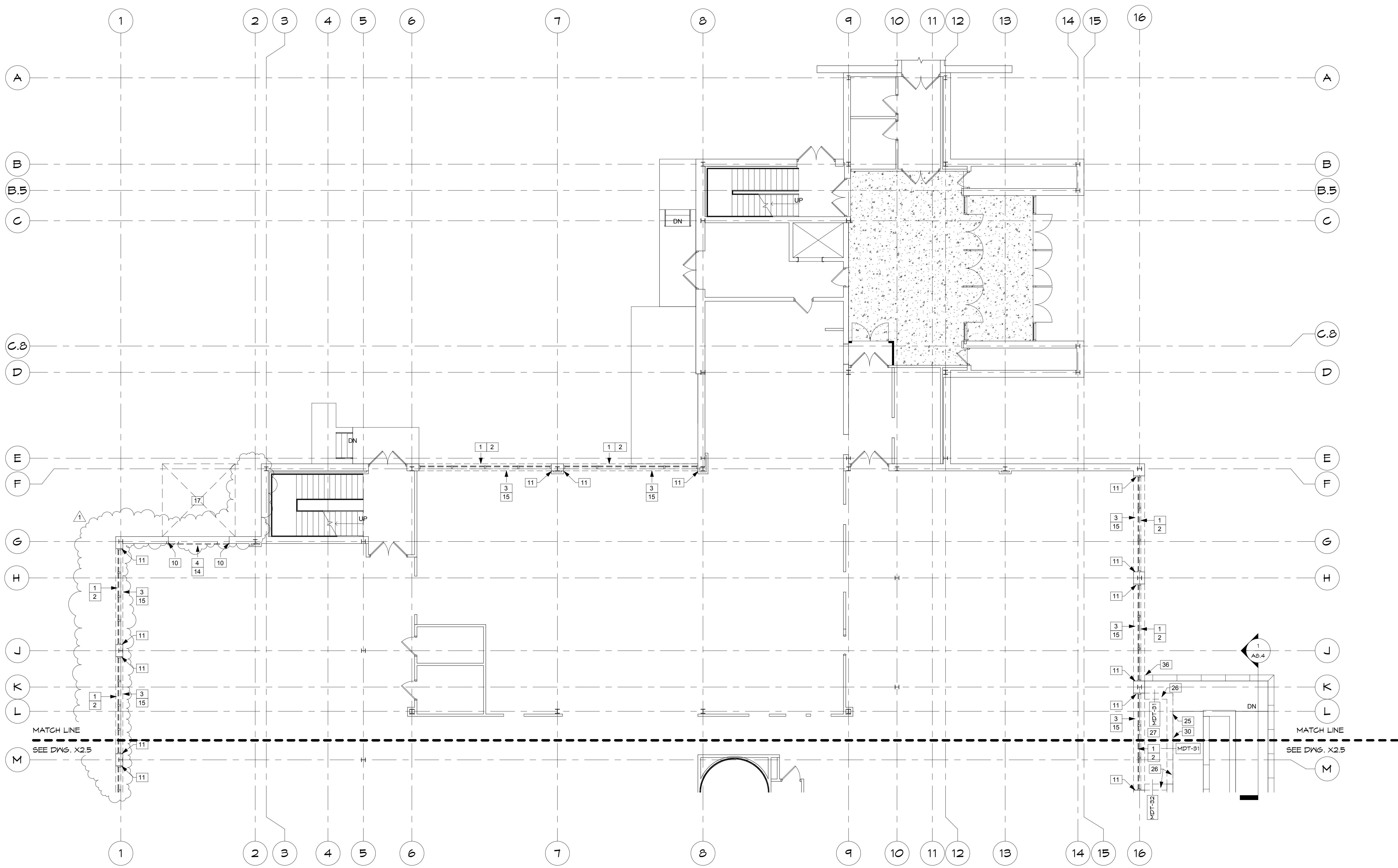
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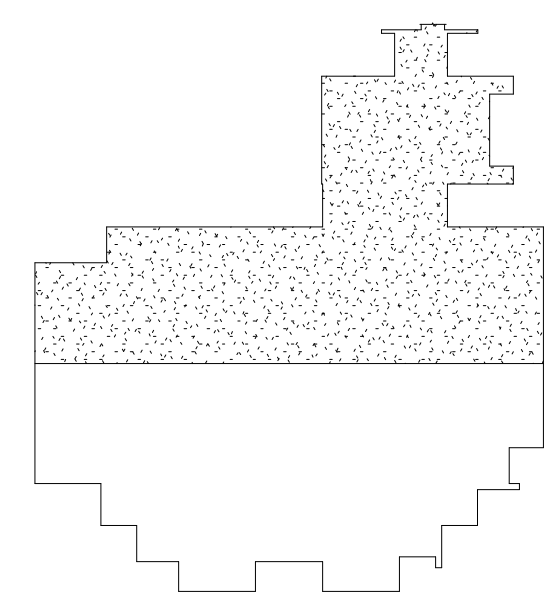
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LARGE SCALE FIRST FLOOR DEMOLITION PLAN - SECTION A

SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.
 DEMOLITION KEYNOTE [34] APPLIES TO THIS SECTION.



KEY PLAN



**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**LARGE SCALE FIRST
 FLOOR DEMOLITION
 PLAN - SECTION A**

**CONSTRUCTION
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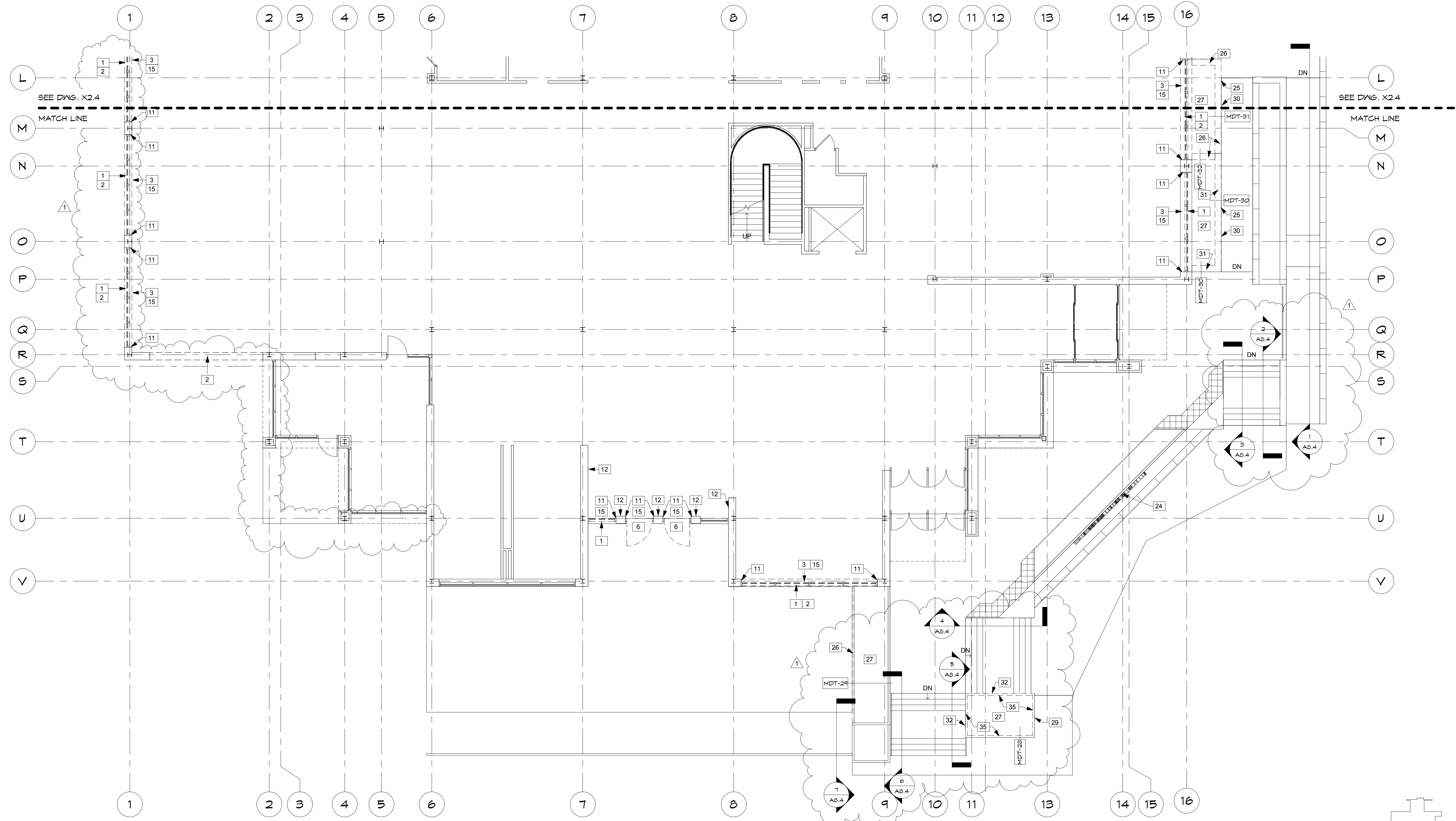
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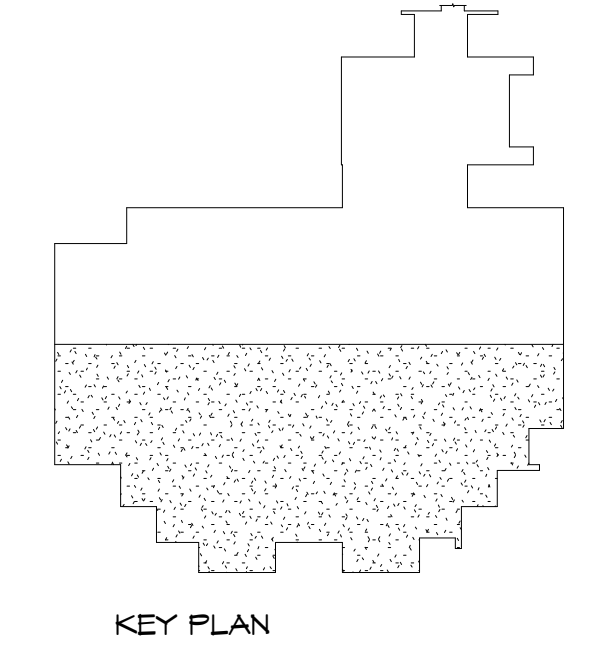
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LARGE SCALE FIRST FLOOR DEMOLITION PLAN - SECTION B
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.
 DEMOLITION KEYNOTE 34 APPLIES TO THIS SECTION.



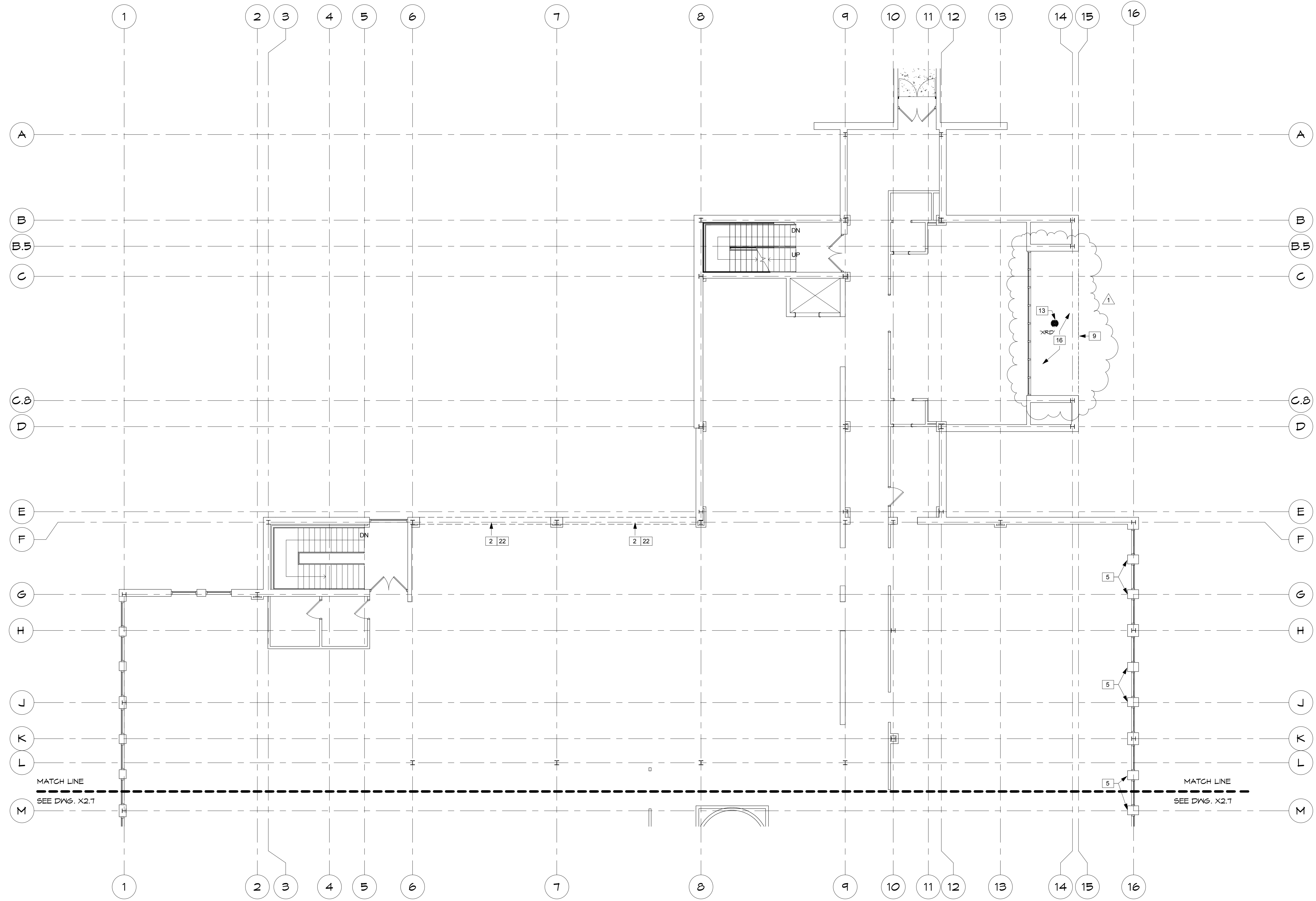
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**ALTERATIONS TO HACC
 CENTRAL
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 HARRISBURG, PA
**LARGE SCALE FIRST
 FLOOR DEMOLITION
 PLAN - SECTION B**

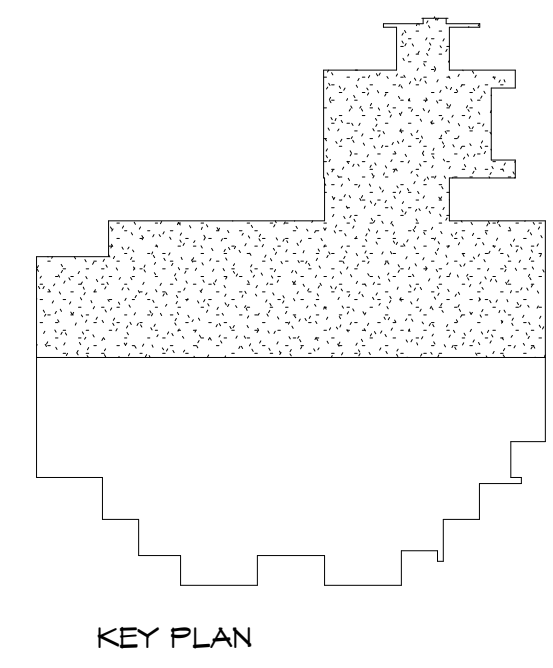
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LARGE SCALE SECOND FLOOR DEMOLITION PLAN - SECTION A
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.
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**ALTERATIONS TO HACC
 CENTRAL
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HARRISBURG, PA

**LARGE SCALE SECOND
 FLOOR DEMOLITION
 PLAN - SECTION A**

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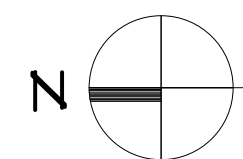
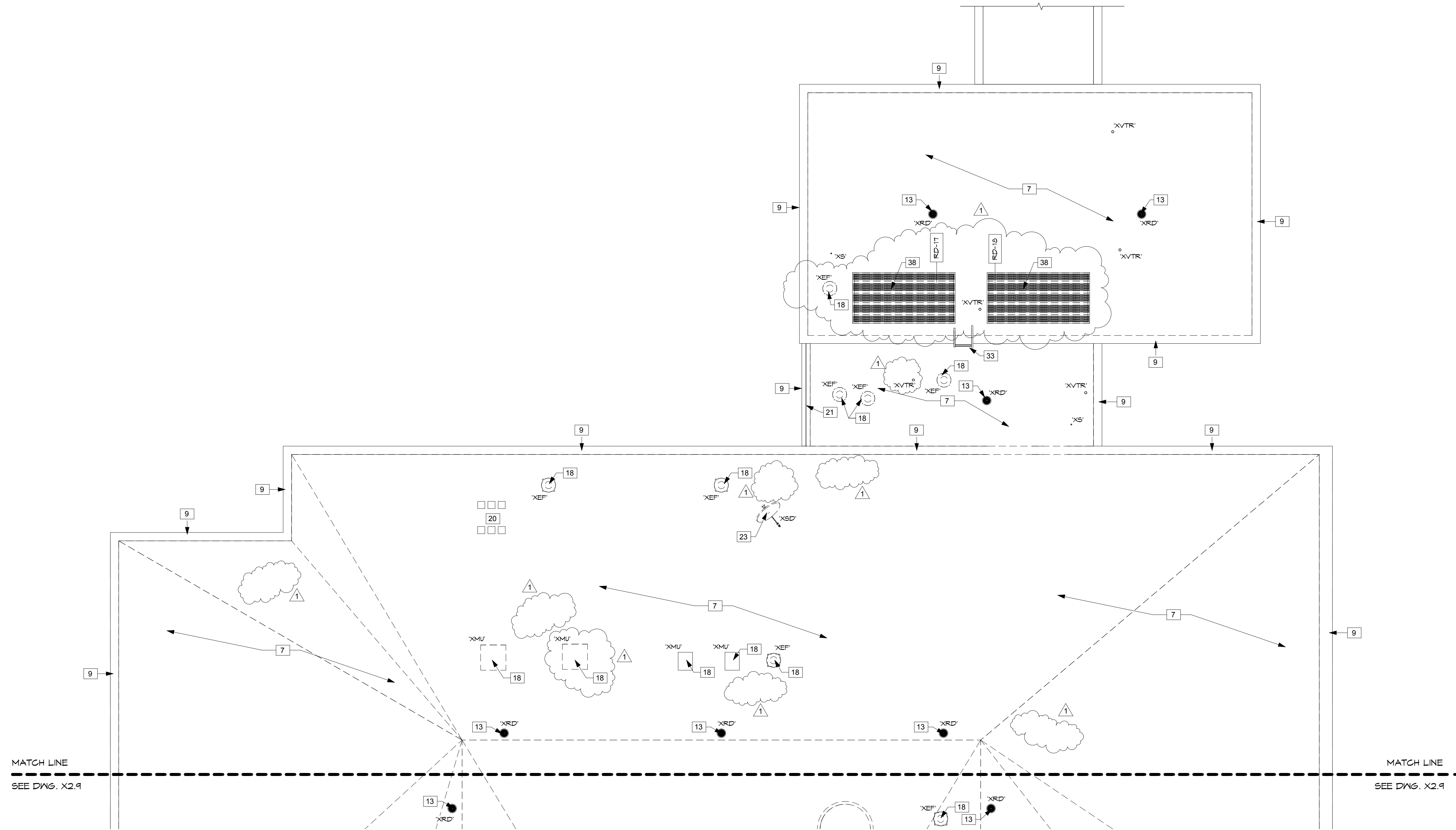
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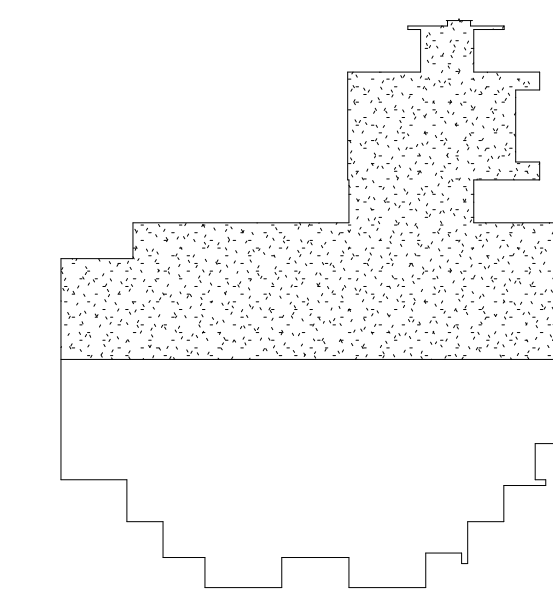
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LARGE SCALE ROOF DEMOLITION PLAN - SECTION A

SCALE: 1/8" = 1'-0"

NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.
 SEE SHEET L-3 IN D.R.M. FOR ROOF LEGEND.



KEY PLAN



**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**LARGE SCALE ROOF
 DEMOLITION PLAN -
 SECTION A**

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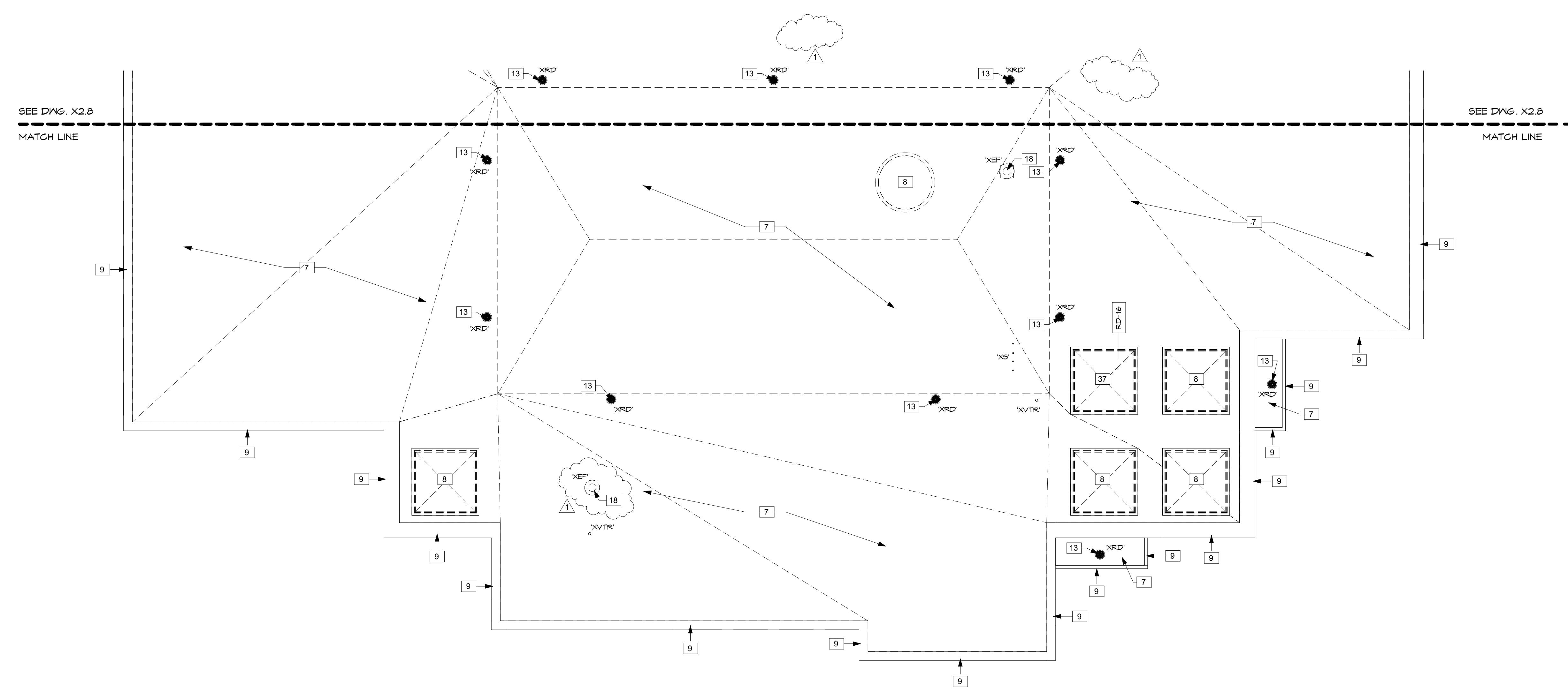
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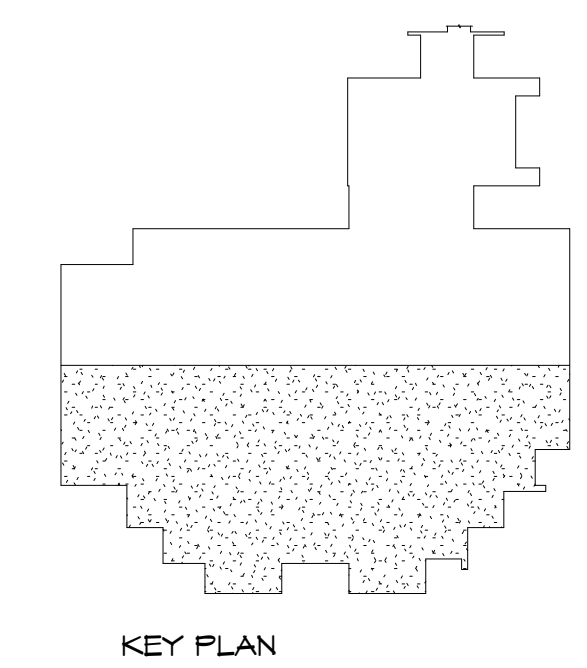
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LARGE SCALE ROOF DEMOLITION PLAN - SECTION B
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.
 SEE SHEET L-3 IN D.R.M. FOR ROOF LEGEND.



**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**LARGE SCALE ROOF
 DEMOLITION PLAN -
 SECTION B**

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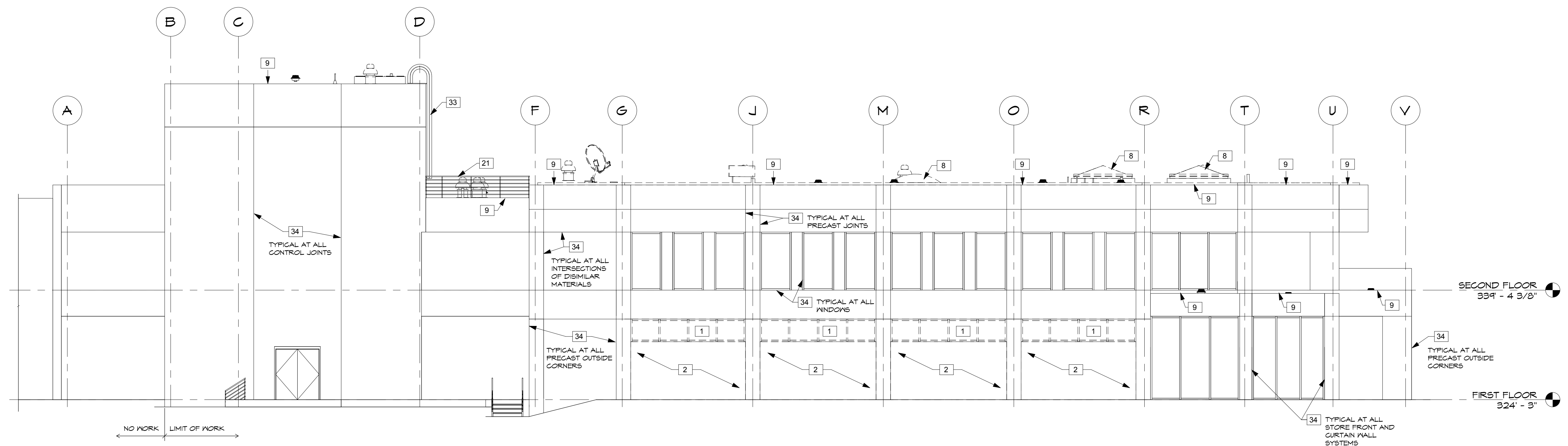
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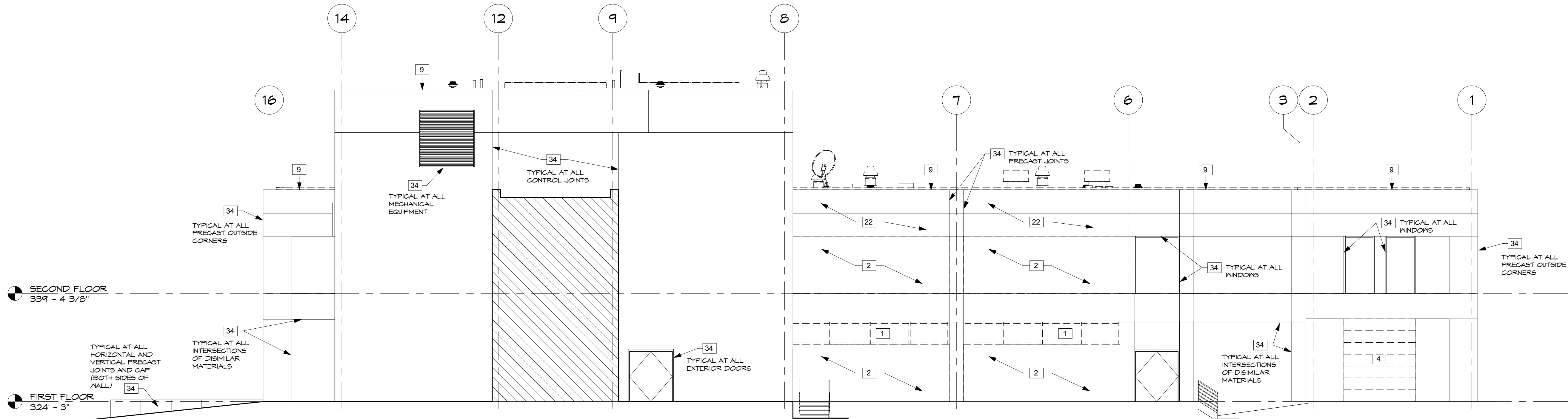
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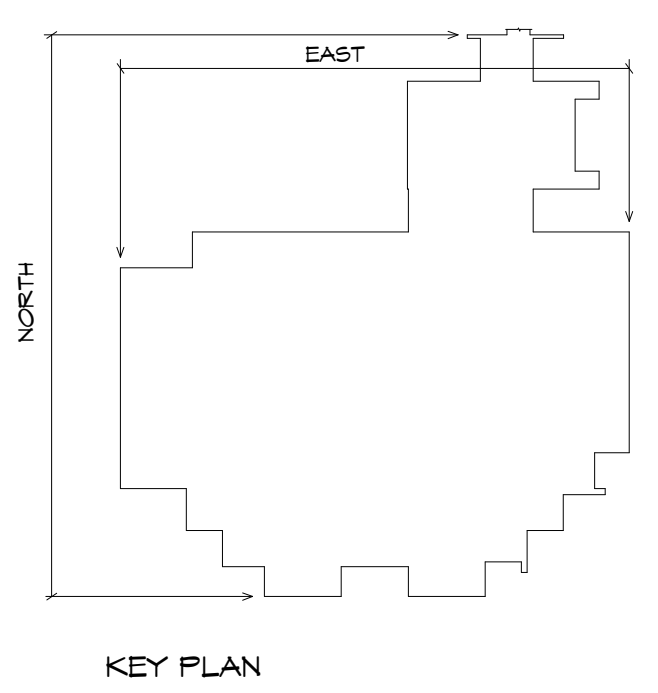
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NORTH ELEVATION - DEMOLITION
 NOTE: DEMOLITION KEYNOTE 34 APPLIES TO THIS ELEVATION.



EAST ELEVATION - DEMOLITION
 NOTE: DEMOLITION KEYNOTE 34 APPLIES TO THIS ELEVATION.



EXTERIOR ELEVATIONS - DEMOLITION

SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.

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**ALTERATIONS TO HACC
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HARRISBURG, PA

**EXTERIOR ELEVATIONS
 - DEMOLITION - NORTH
 AND EAST**

**CONSTRUCTION
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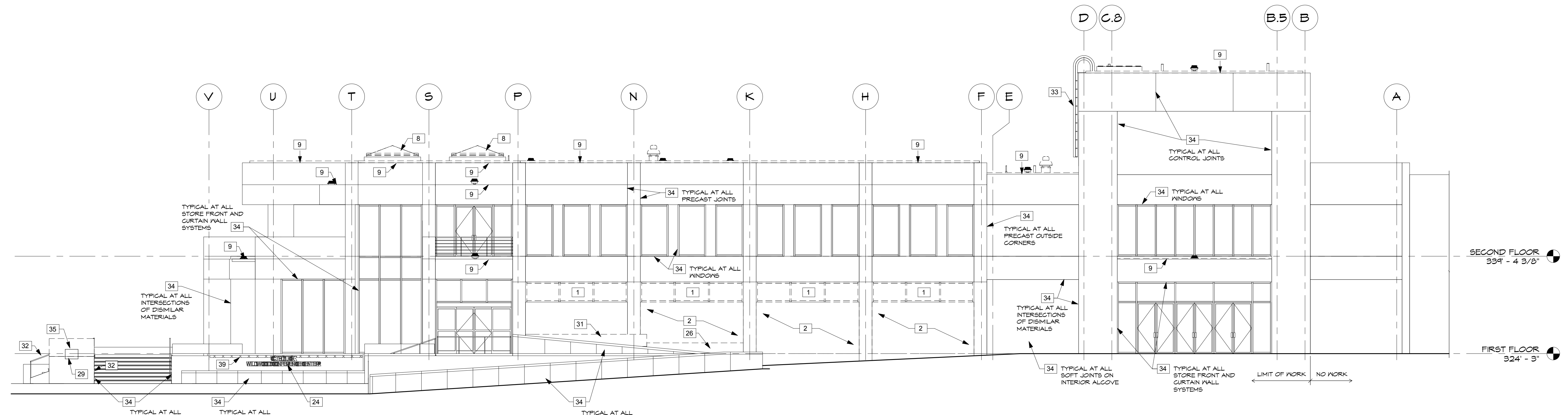
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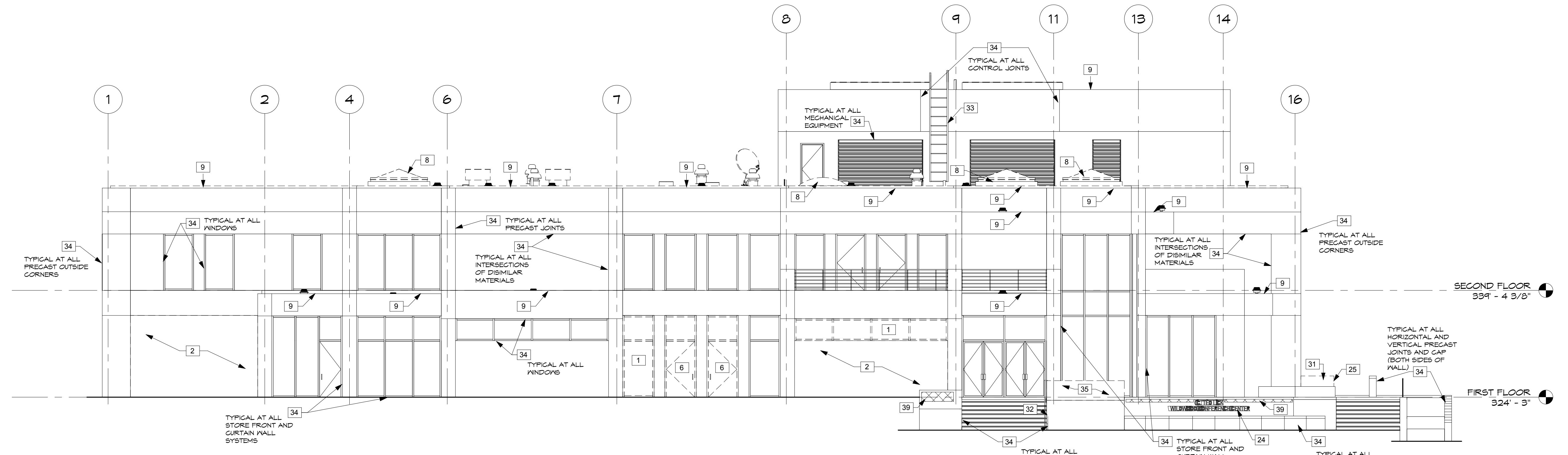
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SOUTH ELEVATION - DEMOLITION

NOTE: DEMOLITION KEYNOTE [34] APPLIES TO THIS ELEVATION.

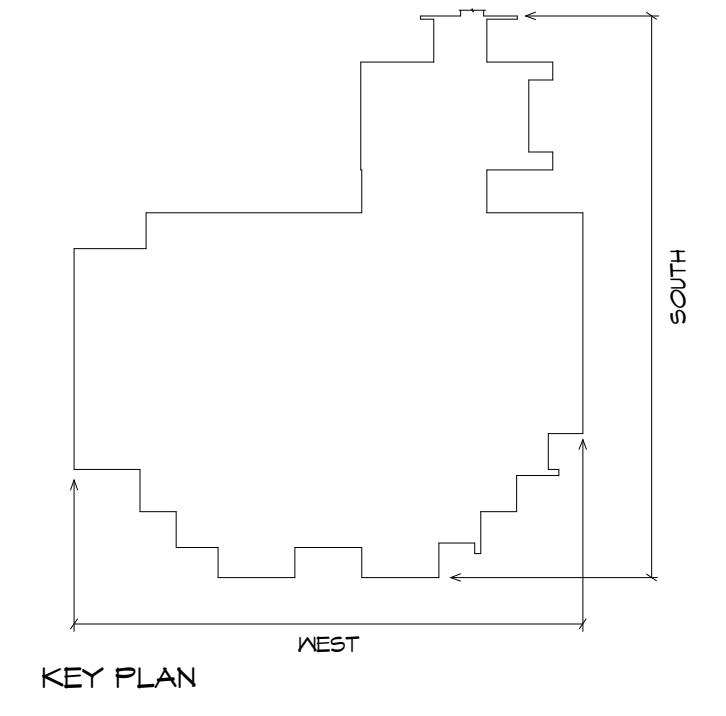


WEST ELEVATION - DEMOLITION

NOTE: DEMOLITION KEYNOTE [34] APPLIES TO THIS ELEVATION.

EXTERIOR ELEVATIONS - DEMOLITION

SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.



**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**EXTERIOR ELEVATIONS
 - DEMOLITION - SOUTH
 AND WEST**

**CONSTRUCTION
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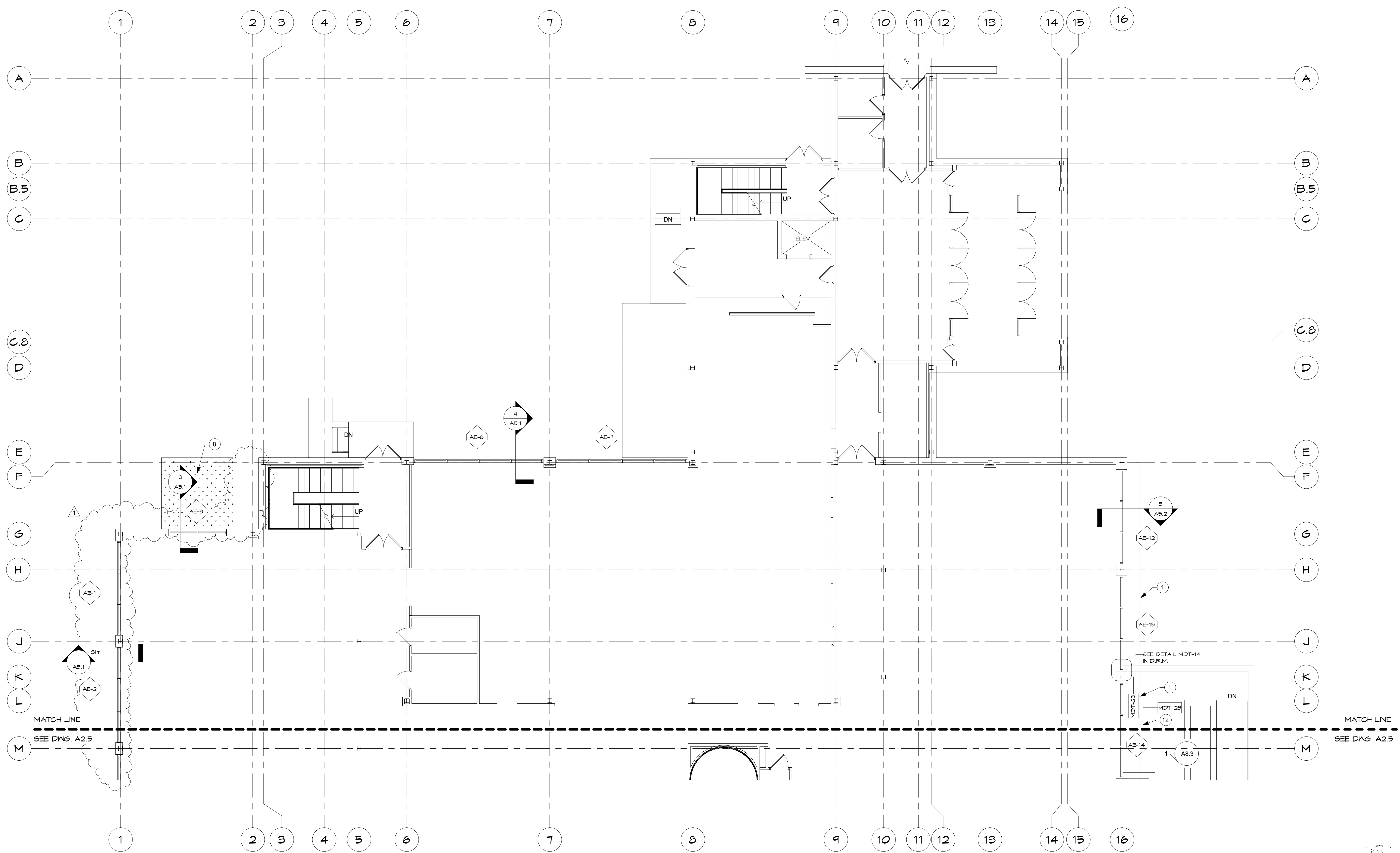
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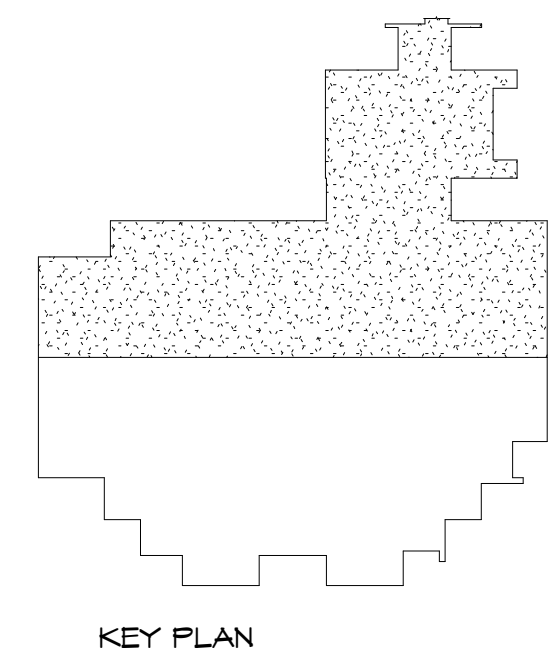
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SHEET NUMBER: **X3.2**

PHASE 2



LARGE SCALE FIRST FLOOR NEW PLAN - SECTION A
 SCALE: 1/8" = 1'-0"
NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
 SEE SHEETS L-1 AND L-2 IN D.R.M. FOR LEGEND AND NEW CONSTRUCTION LEGEND.
 NEW CONSTRUCTION KEYNOTE (15) & (16) APPLY TO THIS SECTION.



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**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**LARGE SCALE FIRST
 FLOOR NEW PLAN -
 SECTION A**

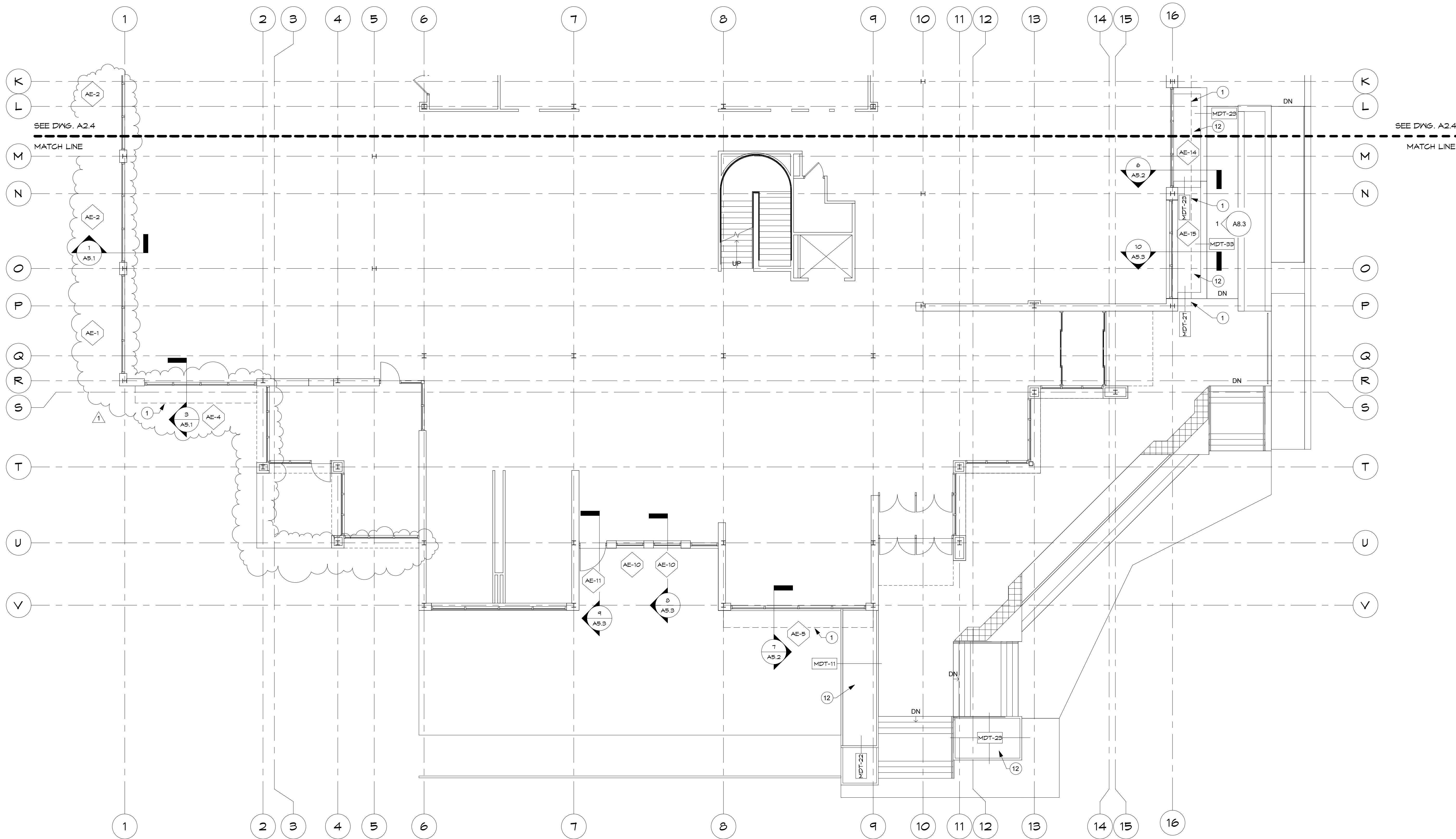
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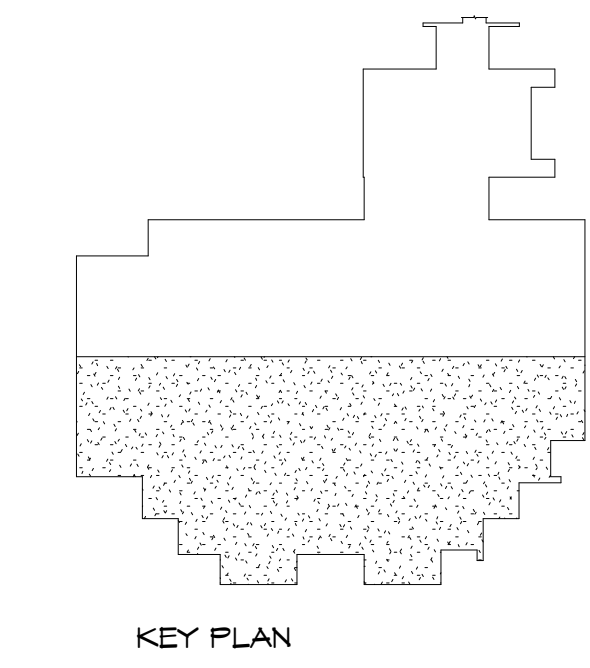
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PROJECT NUMBER:
3395

SHEET NUMBER:
A2.4
 PHASE 2



LARGE SCALE FIRST FLOOR NEW PLAN - SECTION B
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
 SEE SHEETS L-1 AND L-2 IN D.R.M. FOR LEGEND AND NEW CONSTRUCTION LEGEND.
 NEW CONSTRUCTION KEYNOTE (15) & (16) APPLY TO THIS SECTION.



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**ALTERATIONS TO HACC
 CENTRAL
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HARRISBURG, PA

**LARGE SCALE FIRST
 FLOOR NEW PLAN -
 SECTION B**

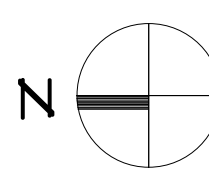
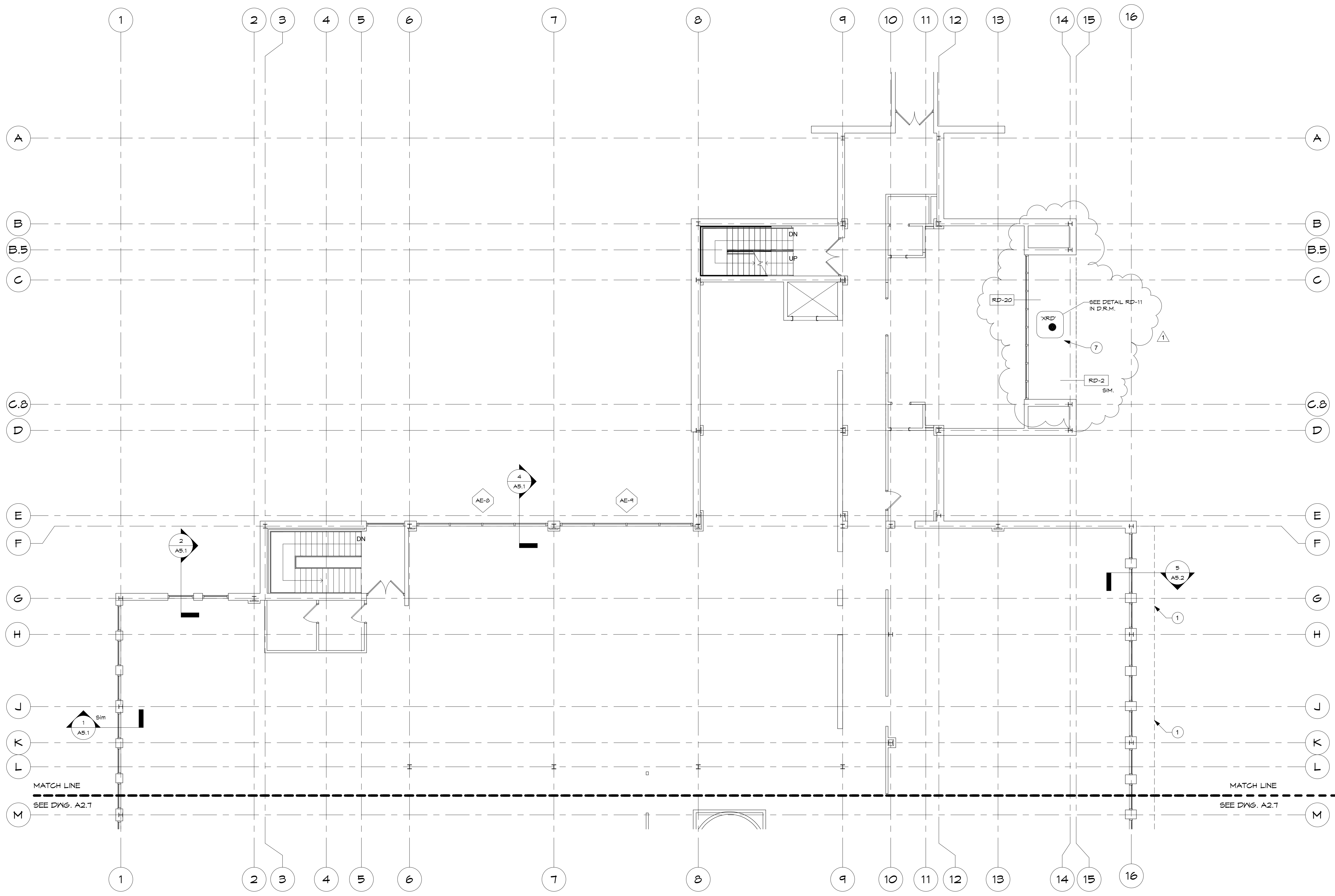
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LARGE SCALE SECOND FLOOR NEW PLAN - SECTION A

SCALE: 1/8" = 1'-0"

NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
SEE SHEETS L-1 AND L-2 IN D.R.M. FOR LEGEND AND NEW CONSTRUCTION LEGEND.
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ALTERATIONS TO HACC
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BUILDING

HARRISBURG, PA

LARGE SCALE SECOND
FLOOR NEW PLAN -
SECTION A

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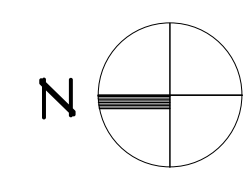
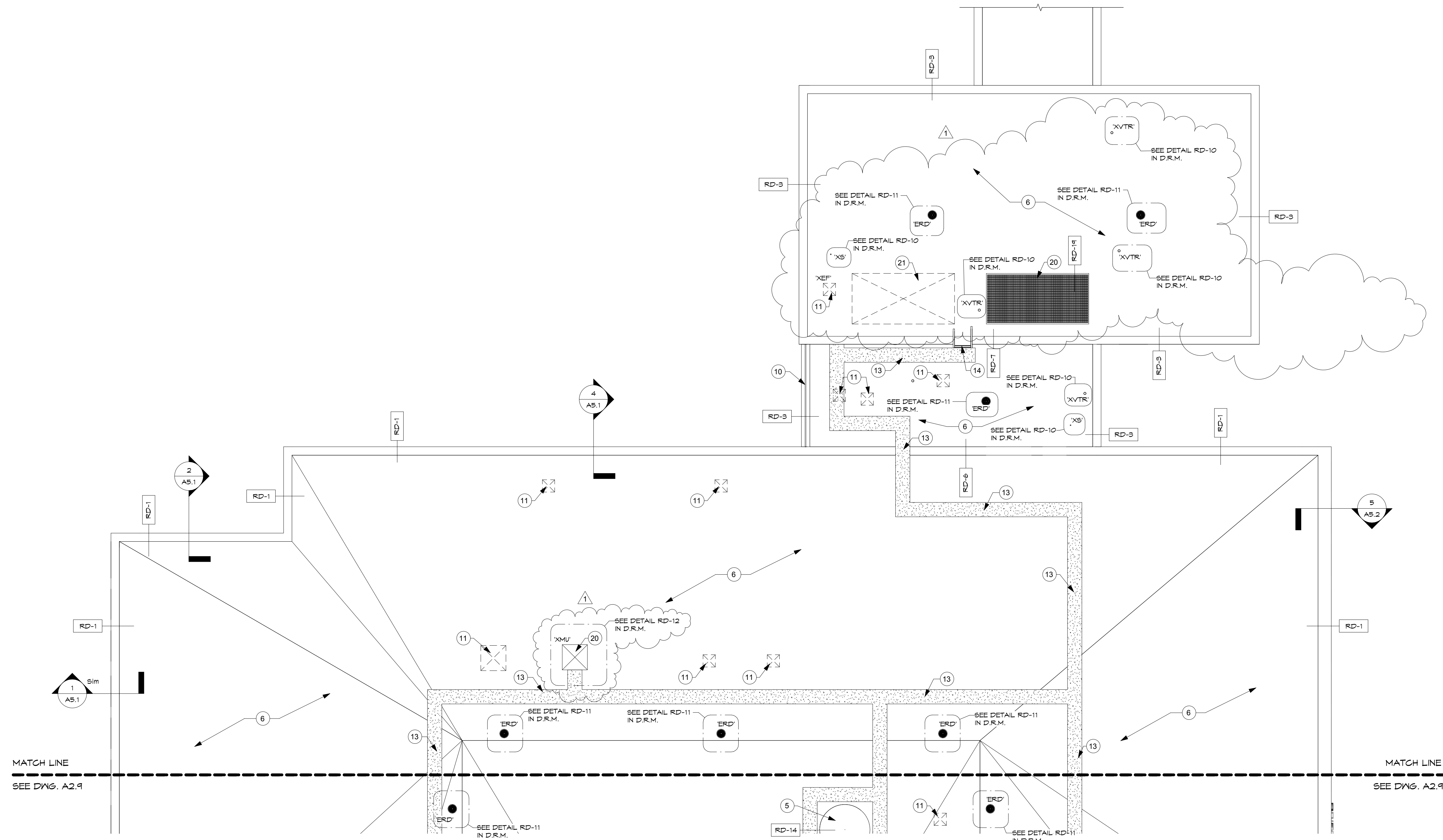
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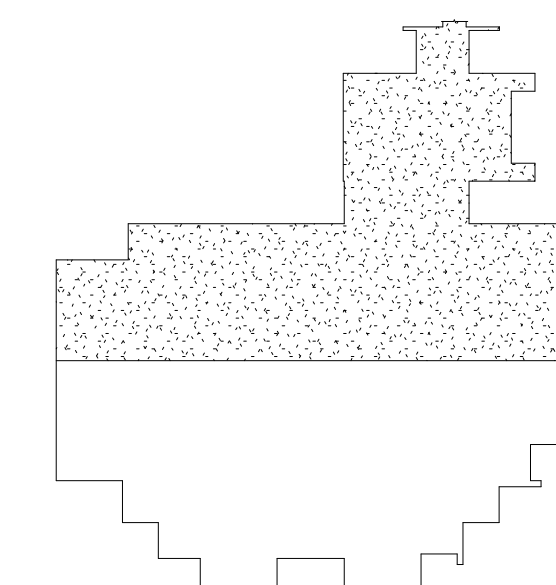
CONSULTANT: OWNER'S REPRESENTATIVE
 EASTERN PGM, LLC
 645 N. 12TH STREET
 SUITE 200
 LEMOYNE, PA 17043
 717-233-3616



LARGE SCALE NEW ROOF PLAN - SECTION A

SCALE: 1/8" = 1'-0"

NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
 SEE SHEETS L-1 THRU L-3 IN D.R.M. FOR LEGEND, NEW CONSTRUCTION LEGEND AND ROOF LEGEND.



KEY PLAN

ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING

HARRISBURG, PA

LARGE SCALE NEW
 ROOF PLAN - SECTION
 A

CONSTRUCTION
 DOCUMENTS

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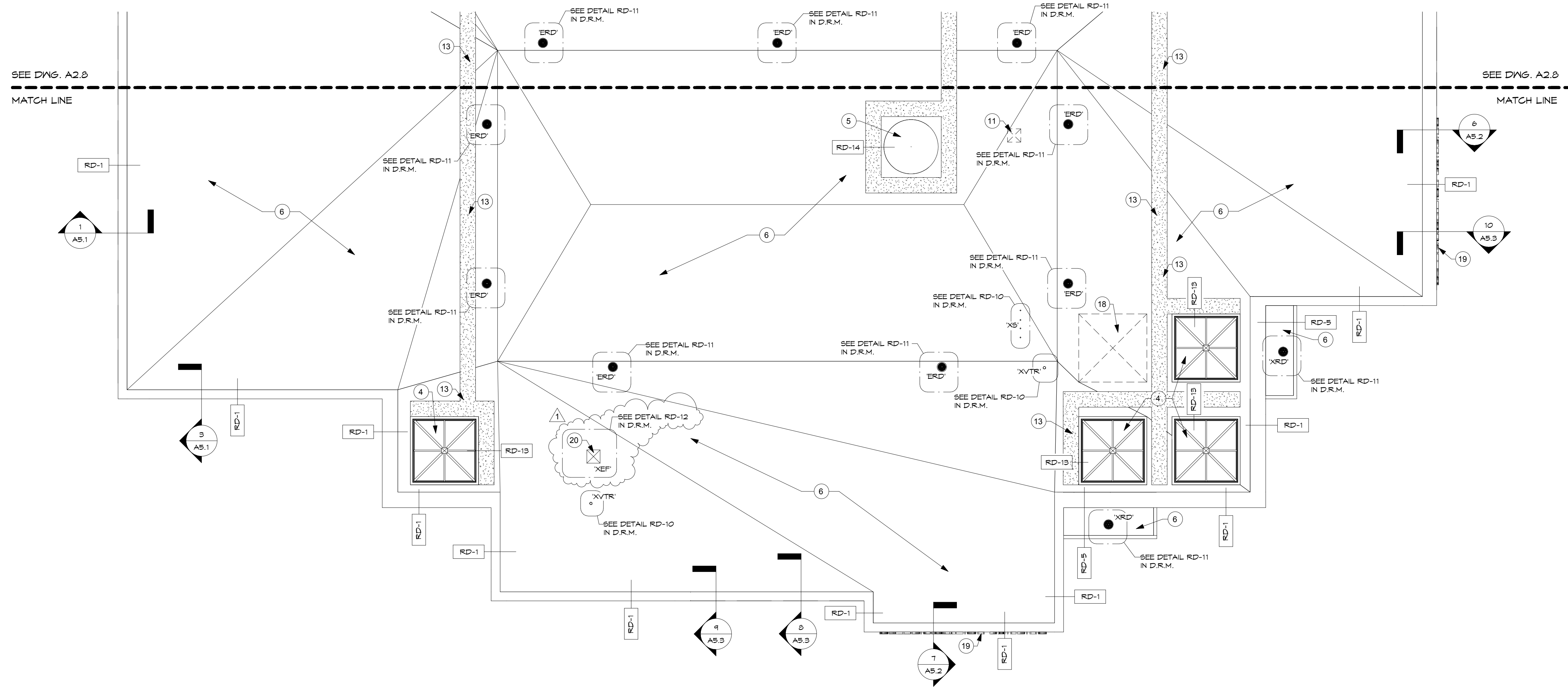
DATE: DECEMBER 10, 2012

PROJECT NUMBER:
3395

SHEET NUMBER:
A2.8

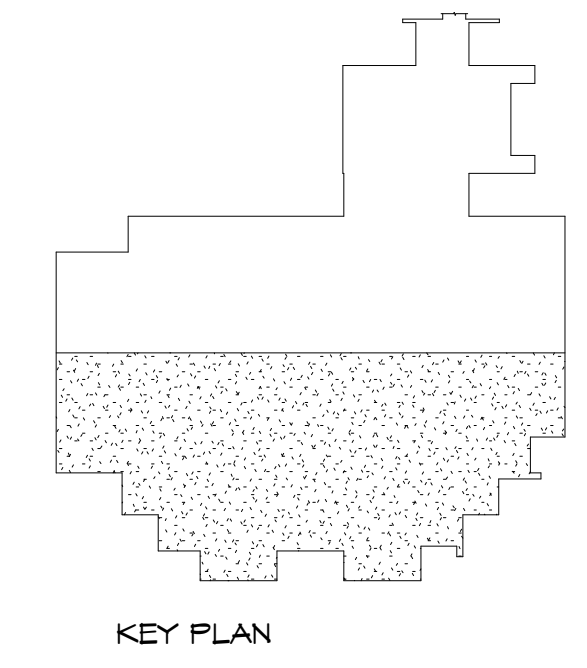
PHASE 2

MURRAY ASSOCIATES ARCHITECTS, P.C.
 1600 North Second Street
 Harrisburg, PA 17102
 717.234.2581 (voice)
 717.234.1201 (data)



LARGE SCALE NEW ROOF PLAN - SECTION B
 SCALE: 1/8" = 1'-0"

NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
 SEE SHEETS L-1 THRU L-3 IN D.R.M. FOR LEGEND, NEW CONSTRUCTION LEGEND AND ROOF LEGEND.



revisions		
no.	date	description
1	12/21/12	ADDENDUM #1

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

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**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**LARGE SCALE NEW
 ROOF PLAN - SECTION
 B**

**CONSTRUCTION
 DOCUMENTS**

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DATE:
 DECEMBER 10, 2012

PROJECT NUMBER:
3395

SHEET NUMBER:
A2.9

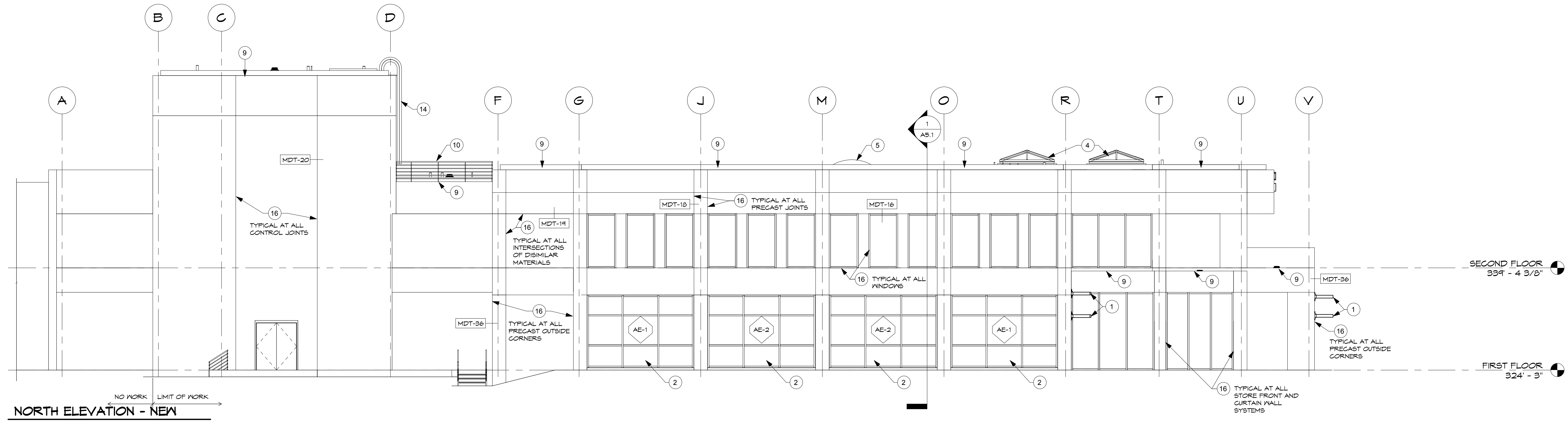
ENTIRE SHEET HAS BEEN MODIFIED

revisions		
no.	date	description
1	12/21/12	ADDENDUM #1

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

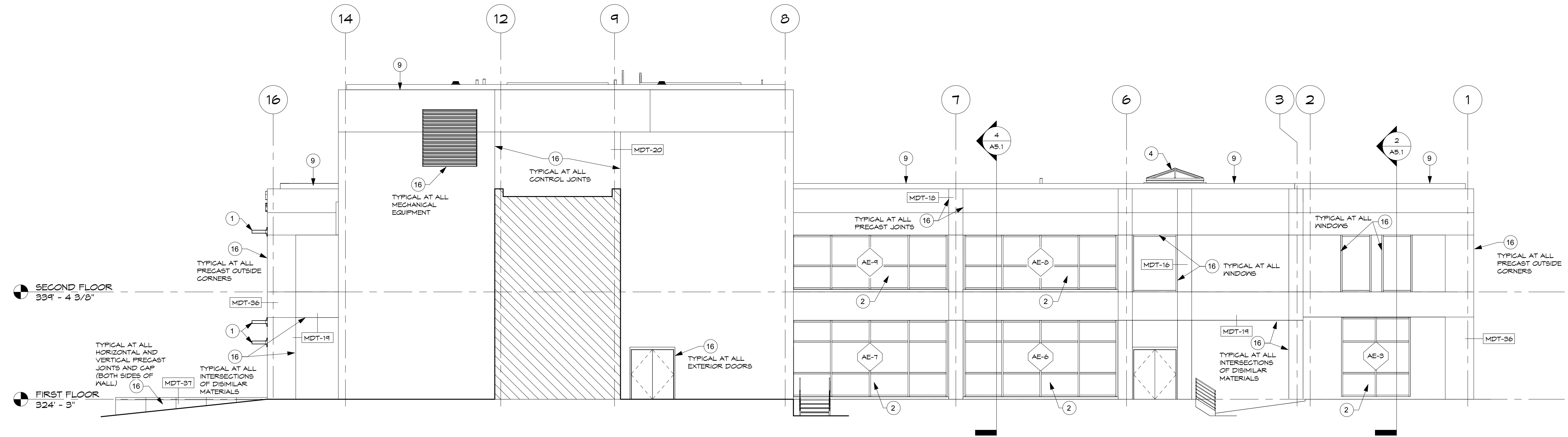
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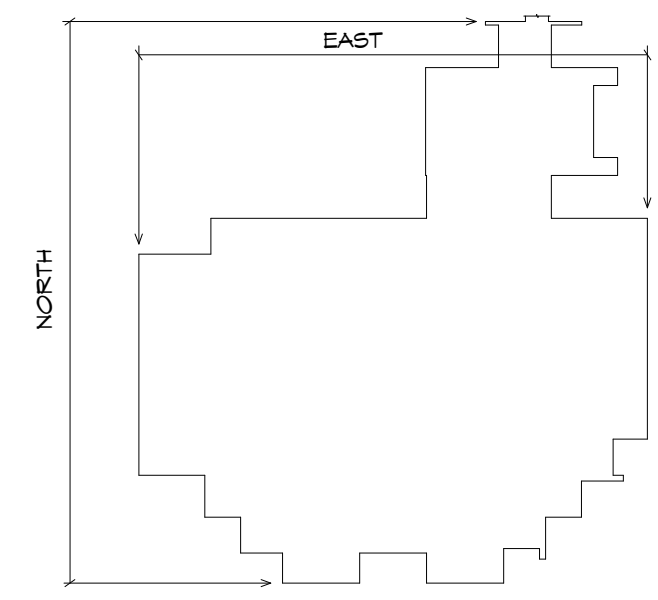
NORTH ELEVATION - NEW

NOTE: NEW CONSTRUCTION KEYNOTE (16) & (16) APPLY TO THIS ELEVATION.



EAST ELEVATION - NEW

NOTE: NEW CONSTRUCTION KEYNOTE (16) & (16) APPLY TO THIS ELEVATION.



KEY PLAN

EXTERIOR ELEVATIONS - NEW

SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
 SEE SHEETS L-1 AND L-2 IN D.R.M. FOR LEGEND AND NEW CONSTRUCTION LEGEND.

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ALTERATIONS TO HACC CENTRAL ADMINISTRATION BUILDING

HARRISBURG, PA

EXTERIOR ELEVATIONS - NEW - NORTH AND EAST

CONSTRUCTION DOCUMENTS

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DATE: DECEMBER 10, 2012

PROJECT NUMBER: **3395**

SHEET NUMBER: **A3.1**

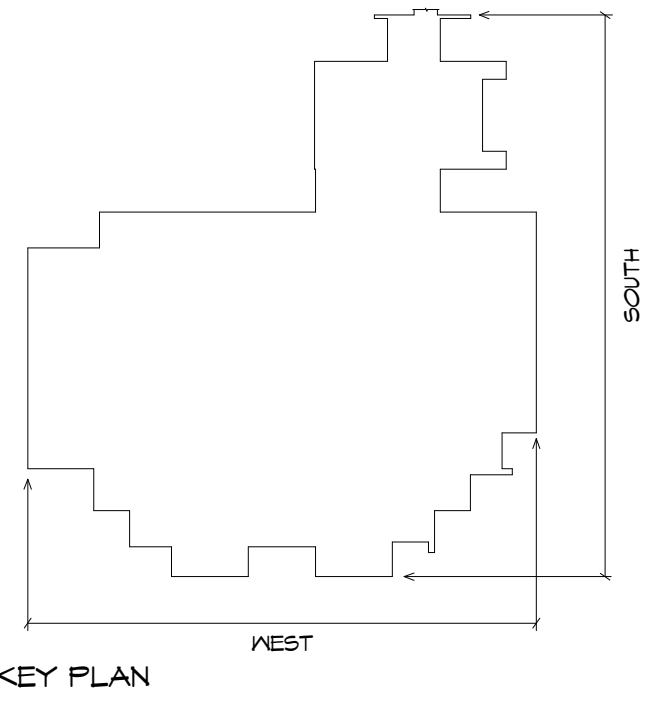
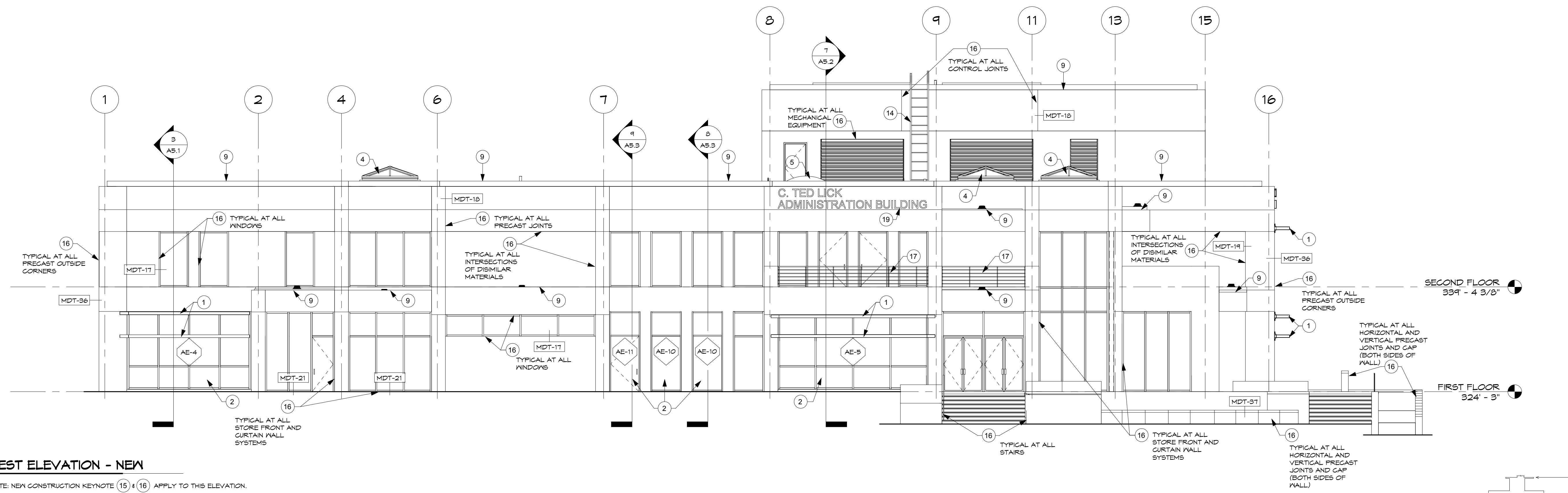
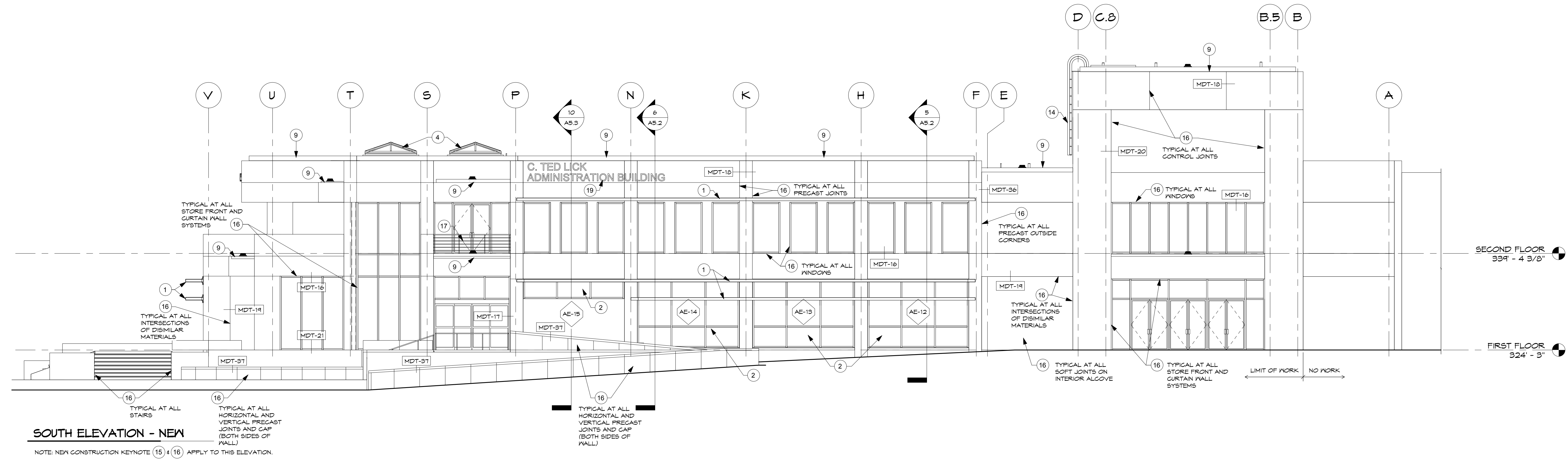
PHASE 2

ENTIRE SHEET HAS BEEN MODIFIED

revisions		
no.	date	description
1	12/21/12	ADDENDUM #1

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EXTERIOR ELEVATIONS - NEW
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION.
 SEE SHEETS L-1 AND L-2 IN D.R.M. FOR LEGEND AND NEW CONSTRUCTION LEGEND.

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**ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING**
 HARRISBURG, PA

**CONSTRUCTION
 DOCUMENTS**

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PROJECT NUMBER: 3395	
SHEET NUMBER: A3.2	
PHASE 2	

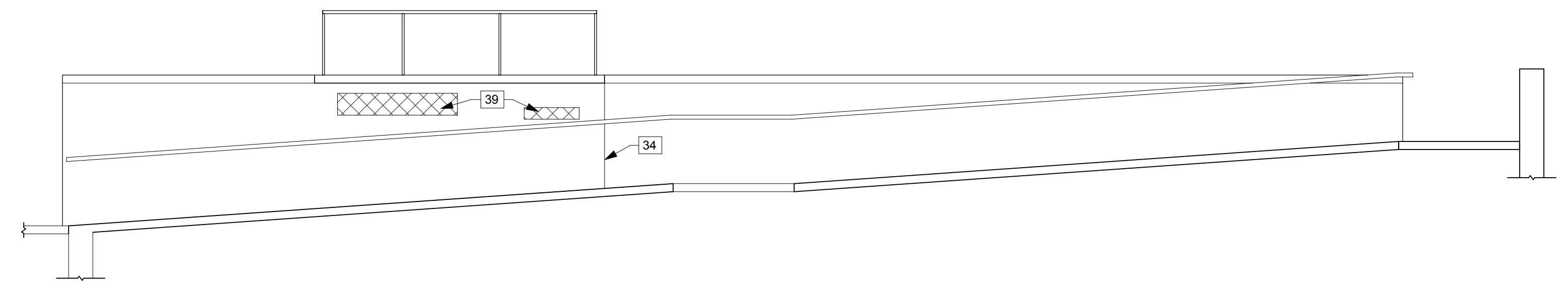
ENTIRE SHEET HAS BEEN ADDED

revisions		
no.	date	description
1	12/21/12	ADDENDUM #1

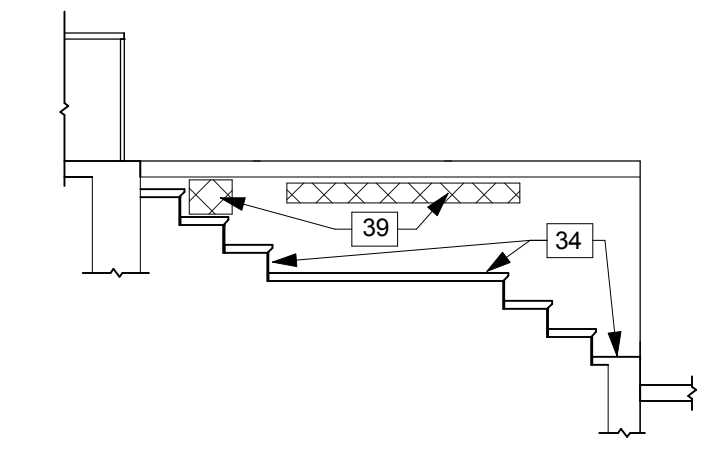
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

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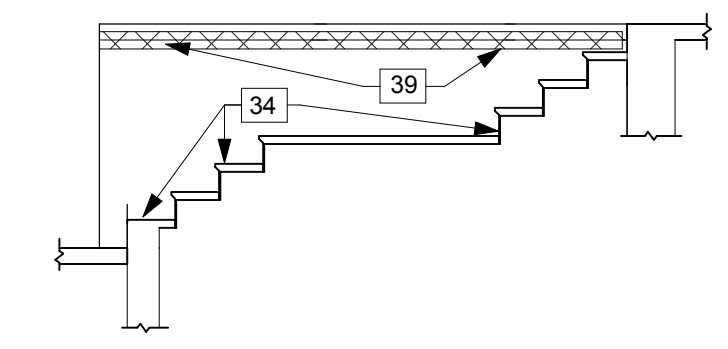
CONSULTANT: OWNER'S REPRESENTATIVE
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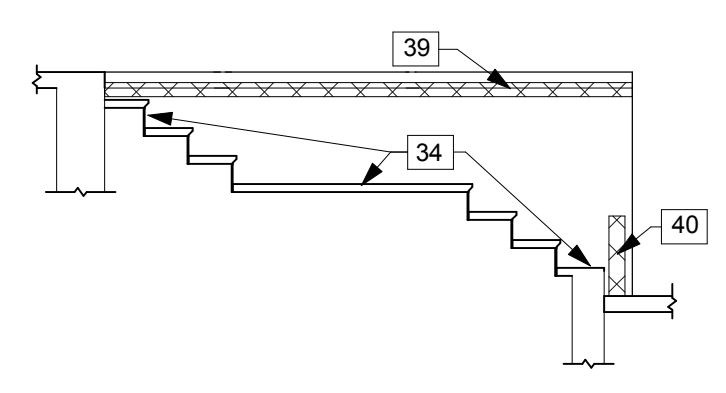
WALL SECTION - DEMOLITION 1
 SCALE: 1/4" = 1'-0"
 1
 A8.4



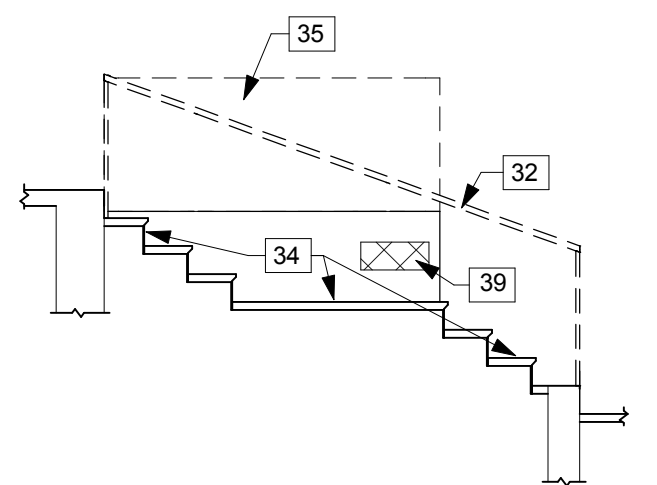
WALL SECTION - DEMOLITION 2
 SCALE: 1/4" = 1'-0"
 2
 A8.4



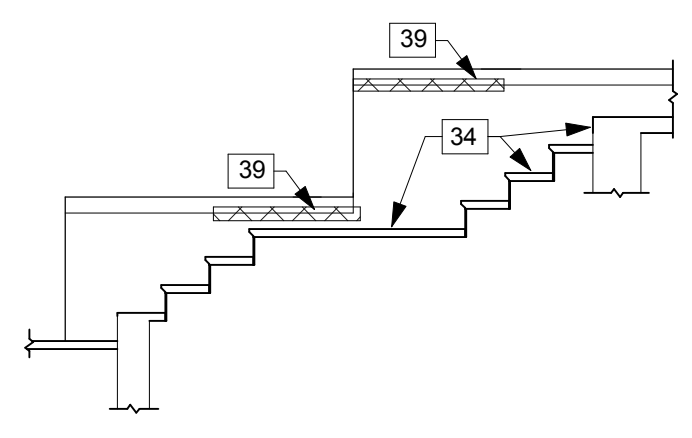
WALL SECTION - DEMOLITION 3
 SCALE: 1/4" = 1'-0"
 3
 A8.4



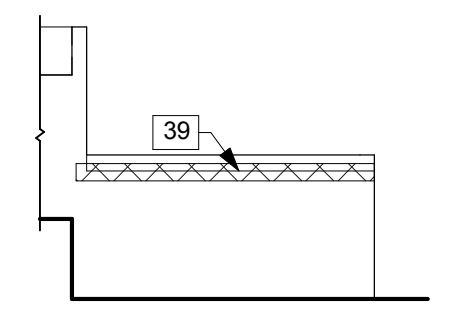
WALL SECTION - DEMOLITION 4
 SCALE: 1/4" = 1'-0"
 4
 A8.4



WALL SECTION - DEMOLITION 5
 SCALE: 1/4" = 1'-0"
 5
 A8.4



WALL SECTION - DEMOLITION 6
 SCALE: 1/4" = 1'-0"
 6
 A8.4



WALL SECTION - DEMOLITION 7
 SCALE: 1/4" = 1'-0"
 7
 A8.4

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ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING

HARRISBURG, PA

DEMOLITION AND NEW
 WALL SECTIONS

CONSTRUCTION
 DOCUMENTS

DRAWN BY: TAB
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DATE:
 DECEMBER 10, 2012

PROJECT NUMBER:
3395

SHEET NUMBER:
A8.4

DETAIL REFERENCE MANUAL INDEX

NOTES: N-0 THRU N-4

LEGENDS: L-0 THRU L-3

ALUMINUM DETAILS: AD-0 THRU AD-35

MISCELLANEOUS DETAILS: MDT-0 THRU MDT-37

ROOF DETAILS: RD-0 THRU RD-20

DEMOLITION KEYNOTES

NUMBER	DESCRIPTION
1	REMOVE EXISTING WINDOWS.
2	REMOVE EXISTING WALL CONSTRUCTION FOR NEW WINDOW OPENING.
3	REMOVE EXISTING SLATE STOOL.
4	REMOVE EXISTING ROLLING DOOR AND ASSOCIATED ANGLE FRAME.
5	REMOVE PORTION OF EXISTING GYPSUM WALL BOARD AS REQUIRED FOR THE THRU BOLTING OF THE NEW SUNSHADES.
6	REMOVE EXISTING DOOR, FRAME AND ASSOCIATED HARDWARE.
① →	7 REMOVE EXISTING STONE BALLAST, ROOFING MEMBRANE AND INSULATION DOWN TO EXISTING METAL DECK. STORE STONE BALLAST ON CAMPUS PER OWNERS DIRECTION.
8	REMOVE EXISTING SKYLIGHT AND ASSOCIATED CURB DOWN TO THE EXISTING STEEL PLATE. REMOVE PORTION OF EXISTING GYPSUM WALL BOARD, SEE DETAIL RD-13 AND RD-14 IN D.R.M. FOR AMOUNT.
9	REMOVE EXISTING ALUMINUM GRAVEL STOP/FASCIA, BACKER ROD AND SEALANT AND WOOD BLOCKING.
10	REMOVE EXISTING GYPSUM BOARD & INSULATION JAMB BACK TO FACE OF EXISTING INTERIOR WALL.
11	REMOVE EXISTING GYPSUM BOARD JAMB BACK TO FACE OF EXISTING INTERIOR WALL.
12	REMOVE EXISTING HARDWOOD PANELING.
① →	13 REMOVE EXISTING ROOF DRAIN TO ALLOW FOR EXTENSION. SEE PLUMBING DRAWINGS.
14	REMOVE PORTION OF EXISTING SLAB FOR NEW BRICK/BLOCK FOUNDATION.
15	REMOVE EXISTING GYPSUM BOARD HEAD BACK TO FACE OF EXISTING INTERIOR WALL.
16	REMOVE EXISTING STONE BALLAST, ROOFING MEMBRANE AND INSULATION DOWN TO EXISTING METAL DECK. STORE STONE BALLAST FOR LATER RE-INSTALLATION ON ROOFS.
17	REMOVE PORTION OF EXISTING BITUMINOUS PAVING AND STONE BASE.
① →	18 REMOVE EXISTING ABANDONED MECHANICAL UNIT AND CURB. SEE MECHANICAL DRAWINGS.
① →	19 NOT USED
20	REMOVE EXISTING STONE WALKWAY PAVERS.
21	REMOVE EXISTING RAILING. STORE AND MODIFY FOR LATER RE-INSTALLATION.
22	REMOVE EXISTING MASONRY WALL CONSTRUCTION ABOVE NEW WINDOW OPENING ALL THE WAY TO THE UNDERSIDE OF EXISTING DECK. EXISTING PRECAST TO REMAIN.
① →	23 OWNER TO REMOVE EXISTING SATELLITE DISH AND ASSOCIATED EQUIPMENT.

DEMOLITION KEYNOTES

NUMBER	DESCRIPTION	
24	REMOVE EXISTING PIN LETTERS. TURN OVER TO OWNER.	
25	REMOVE EXISTING HANDRAIL. REMOVE BRICK WITH HANDRAIL ANCHOR. INSTALL NEW BRICK TO MATCH.	
26	REMOVE EXISTING BRICK ROWLOCK CAP (STORE FOR RE-INSTALLATION). REMOVE MORTOR FROM BRICK ROWLOCK CAP. REMOVE BRICK AND ASSOCIATED 8" REINFORCED CONCRETE FOUNDATION WALL DOWN TO ONE COURSE BELOW FINISH FLOOR LINE.	
27	REMOVE EXISTING PLANTING MATERIAL AND SUB-BASE AS REQUIRED FOR NEW REVISED PLANTER LAYOUT.	
① →	28	NOT USED
29	REMOVE EXISTING PLAQUE. TURN OVER TO OWNER.	
30	REMOVE EXISTING LIGHTS. REMOVE EXISTING BRICK WHERE LIGHTS WERE ATTACHED AS REQUIRED. INSTALL NEW BRICK TO MATCH.	
31	REMOVE EXISTING BRICK ROWLOCK CAP (STORE FOR RE-INSTALLATION). REMOVE MORTOR FROM BRICK ROWLOCK CAP. REMOVE 7 COURSES OF BRICK AND ASSOCIATED 8" REINFORCED CONCRETE FOUNDATION WALL.	
32	REMOVE ILLUMINATED RAILING SYSTEM AND BRACKETS.	
33	REMOVE EXISTING ROOF LADDER. STORE AND MODIFY FOR LATER RE-INSTALLATION.	
34	REMOVE ALL SEALANT AND BACKER MATERIALS AT ALL JOINTS BETWEEN WINDOWS, MASONRY, PRECAST CONCRETE, ETC. PREP FOR NEW SEALANT AND BACKER ROD. (TYPICAL FOR ENTIRE PROJECT)	
35	REMOVE EXISTING BRICK ROWLOCK CAP (STORE FOR RE-INSTALLATION). REMOVE MORTOR FROM BRICK ROWLOCK CAP. REMOVE 11 COURSES OF BRICK AND ASSOCIATED 8" REINFORCED CONCRETE FOUNDATION WALL.	
36	REMOVE PORTION OF EXISTING PRECAST CONCRETE CAP. REFER TO NEW DRAWINGS FOR EXTENT OF REMOVAL.	
37	REMOVE EXISTING SKYLIGHT AND ASSOCIATED CURB. REMOVE EXISTING STEEL PLATES, CHANNELS AND CLIP ANGLES. REMOVE EXISTING METAL STUD AND GYPSUM BOARD SOFFIT. SEE DETAIL RD-16 IN D.R.M.	
① →	38	REMOVE EXISTING COOLING TOWER RELIEF VENT AND ASSOCIATED CURB. SEE MECHANICAL DRAWINGS. SEE DETAIL RD-17 AND RD-18 IN D.R.M.
① →	39	REMOVE EXISTING DAMAGED GROUT AS REQUIRED; PREP AREA FOR INSTALLATION OF NEW GROUT.
① →	40	REMOVE EXISTING DAMAGED BRICK.

NEW CONSTRUCTION KEYNOTES

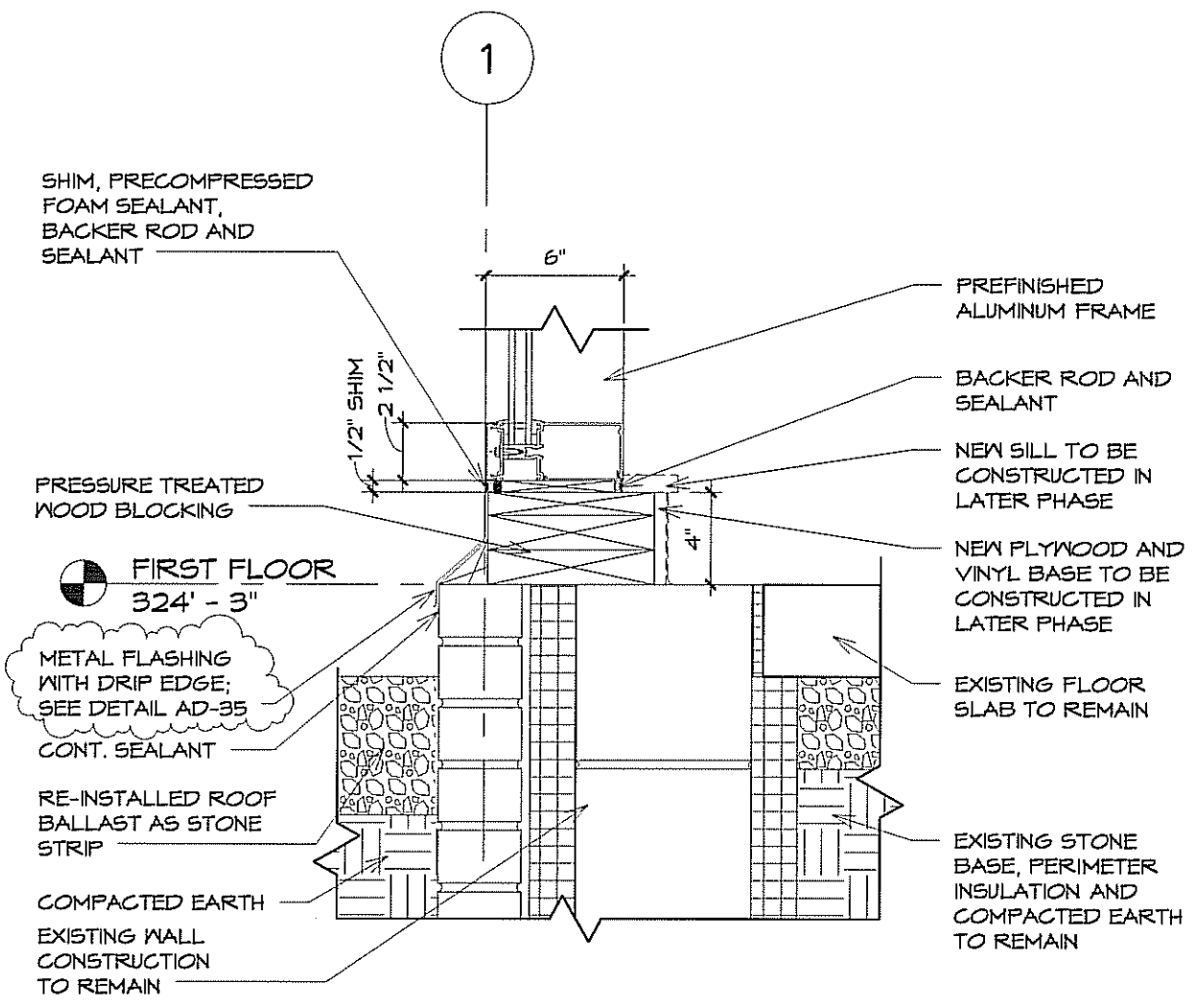
NUMBER	DESCRIPTION
1	NEW ALUMINUM SUNSHADE; COLOR TO MATCH WINDOW FINISH.
2	NEW ALUMINUM WINDOW SYSTEM.
3	NOT USED
4	NEW ALUMINUM GLASS SKYLIGHT.
5	NEW ALUMINUM ACRYLIC SKYLIGHT
6	NEW ROOFING SYSTEM.
7	NEW ROOFING SYSTEM W/ REINSTALLED BALLAST.
8	INFILL WITH TOPSOIL AS REQUIRED. GRADE AND SEED TO MATCH EXISTING.
9	NEW ALUMINUM FASCIA AND BREAK METAL. FASCIA AND BREAK METAL CUTS TO BE PLACED AT THE CENTERLINE OF A PRECAST PANEL AND COLUMN CENTERLINES.
10	RE-INSTALLED, MODIFIED HANDRAIL. SEE DETAIL MDT-12 AND MDT-13 IN D.R.M.
11	INSTALL NEW METAL DECK AND STRUCTURAL COMPONENTS (AS REQUIRED) TO ENCLOSE MECHANICAL OPENING. SEE DETAIL MDT-9 AND MDT-10 IN D.R.M.
12	PROVIDE NEW TOPSOIL AND BEDDING MATERIALS. REFER TO SPECIFICATIONS.
13	NEW ROOF WALKWAY PAD. SEE DETAIL RD-15 IN DRM.
14	RE-INSTALLED, MODIFIED ROOF LATTER. SEE DETAIL MDT-15 IN D.R.M.
15	ALL EXPOSED EXTERIOR PRECAST CONCRETE, BRICK AND CONCRETE SLABS SHALL BE CLEANED.
16	INSTALL NEW BACKER ROD AND SEALANT AT ALL JOINTS BETWEEN WINDOWS, MASONRY, PRECAST CONCRETE, ETC. SEE DETAILS MDT-16 THRU MDT-21, MDT-36 AND 37 IN D.R.M.
17	PAINT EXISTING HANDRAIL SYSTEM. SEE SPECIFICATIONS FOR TYPE AND COLOR.
18	INSTALL NEW METAL DECK AND STRUCTURAL COMPONENTS (AS REQUIRED) TO ENCLOSE SKYLIGHT OPENING. SEE DETAIL MDT-34 IN D.R.M. INSTALL NEW ROOFING SYSTEM AS INDICATED ON RD-13.
19	INSTALL NEW PIN LETTERING SIGNAGE. SEE SHEET A8.3 FOR DIMENSIONS.
20	INSTALL NEW ROOF CURB AND COOLING TOWER EXHAUST VENT; SEE MECHANICAL DRAWINGS.
21	INSTALL NEW METAL DECK AND STRUCTURAL COMPONENTS (AS REQUIRED) TO ENCLOSE COOLING TOWER EXHAUST VENT HOOD. SEE DETAIL MDT-35 IN D.R.M. INSTALL NEW ROOFING SYSTEM AS INDICATED ON RD-3.

1 →

1 →

1 →

1 →



SILL

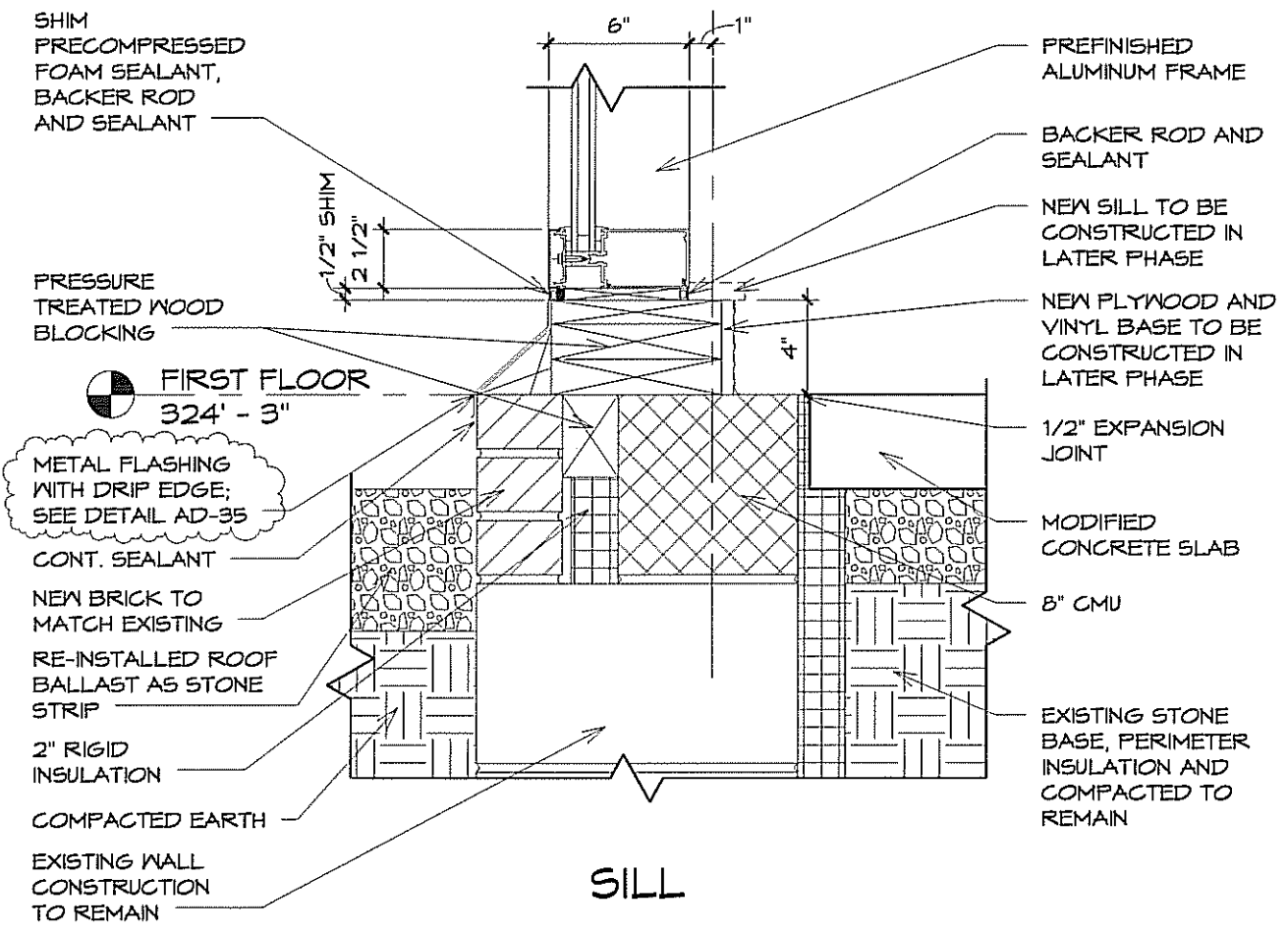
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

G



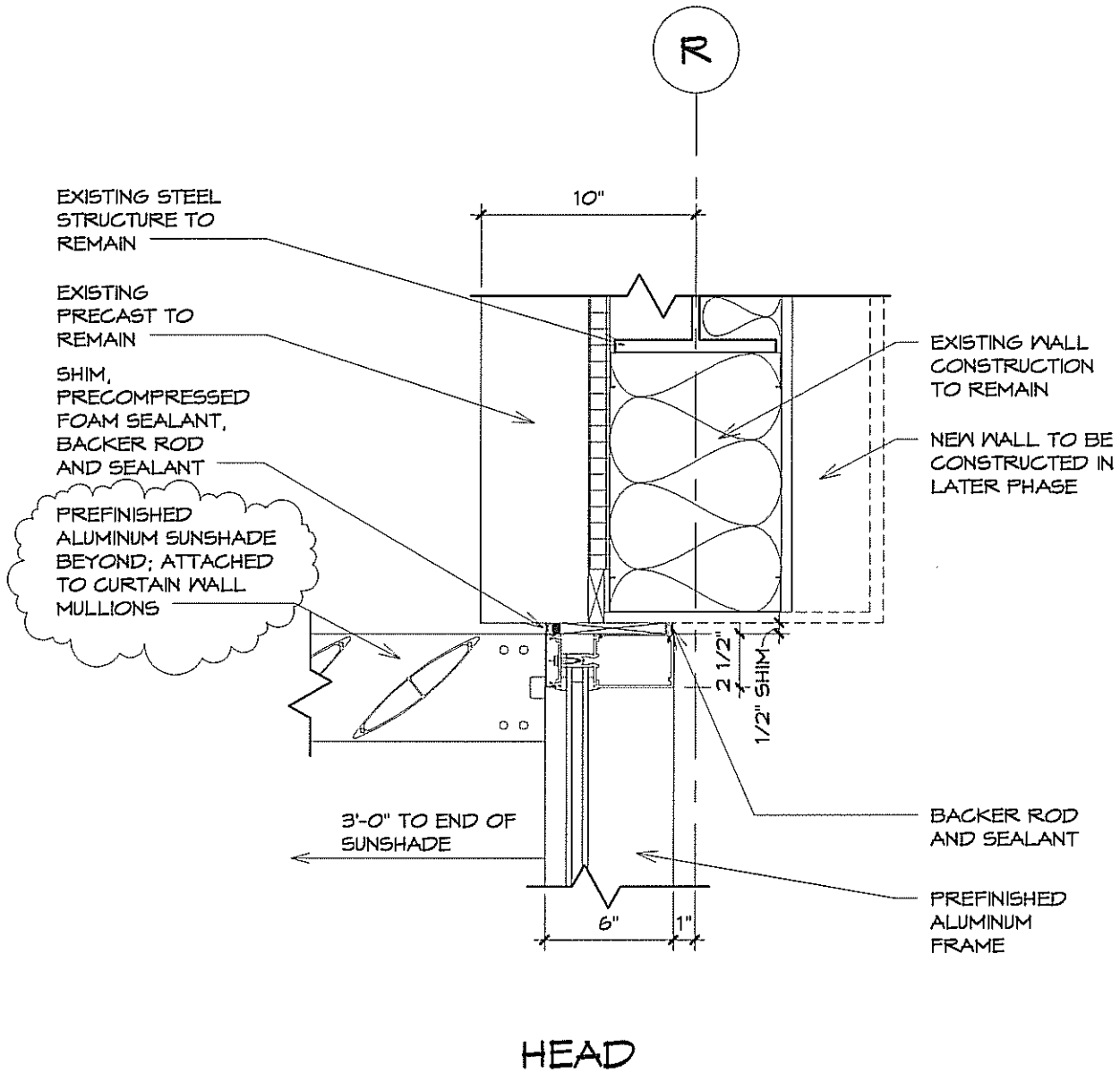
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-6



ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
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ADDENDUM #1 - DECEMBER 21, 2012

AD-8

7

SHIM, PRECOMPRESSED
FOAM SEALANT,
BACKER ROD AND
SEALANT

PREFINISHED
ALUMINUM FRAME

BACKER ROD AND
SEALANT

NEW SILL TO BE
CONSTRUCTED IN
LATER PHASE

NEW PLYWOOD AND
VINYL BASE TO BE
CONSTRUCTED IN
LATER PHASE

EXISTING FLOOR
SLAB TO REMAIN

EXISTING STONE
BASE, PERIMETER
INSULATION AND
COMPACTED EARTH
TO REMAIN

PRESSURE TREATED
WOOD BLOCKING

FIRST FLOOR
324' - 3"

METAL FLASHING
WITH DRIP EDGE;
SEE DETAIL AD-35

CONT. SEALANT

RE-INSTALLED ROOF
BALLAST AS STONE
STRIP

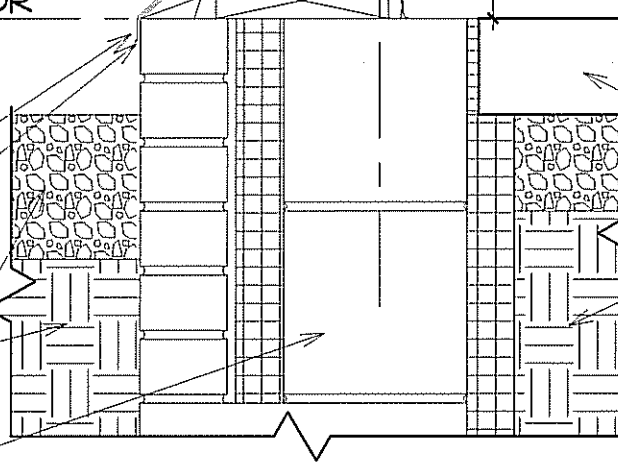
COMPACTED
EARTH

EXISTING WALL
CONSTRUCTION
TO REMAIN

1/2" SHIM
2 1/2"

6" 1"

4"



SILL

NOTE: STONE STRIP DOES NOT OCCUR AT AE-6 & AE-7.

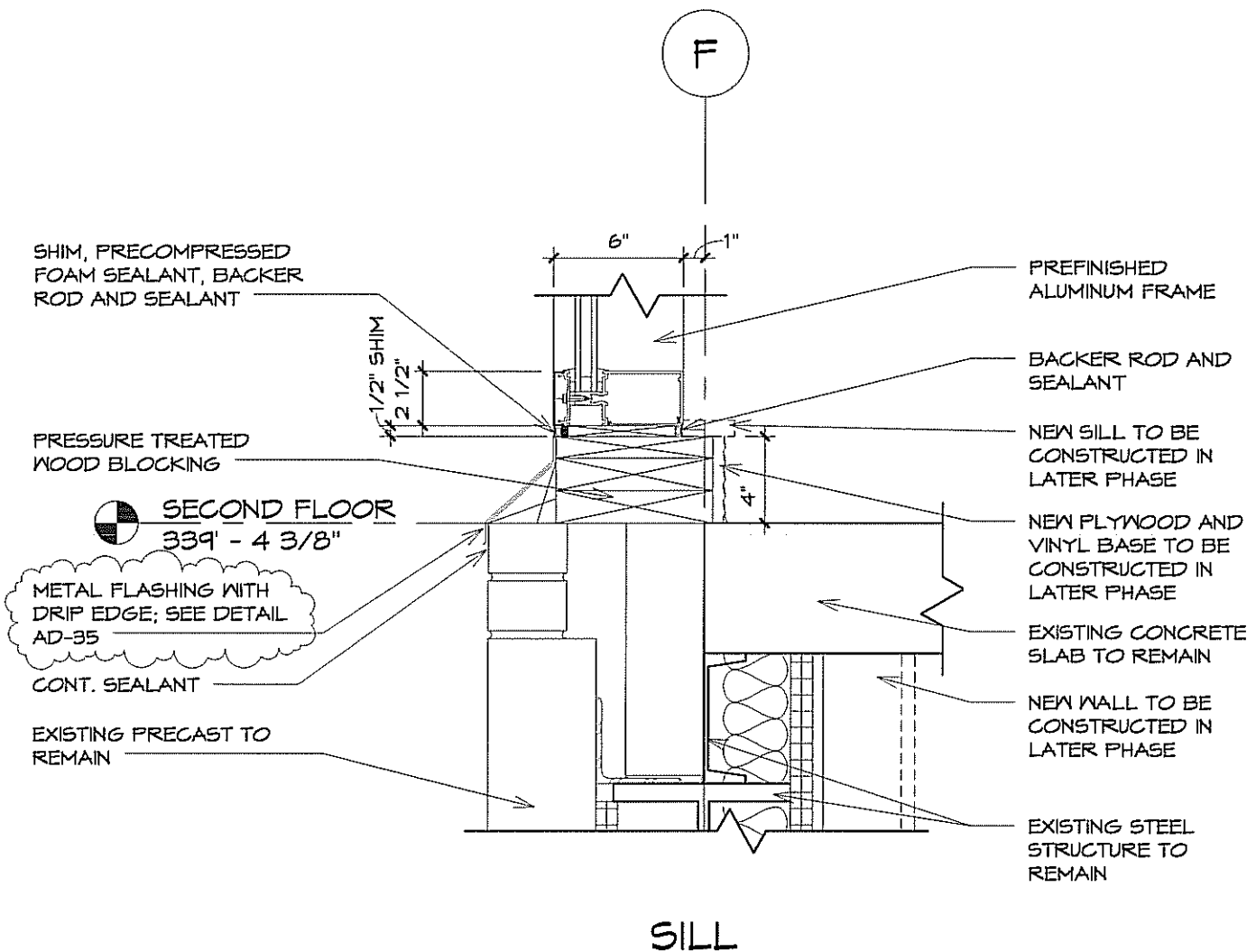
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
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ADDENDUM #1 - DECEMBER 21, 2012

AD-9



ALUMINUM DETAIL

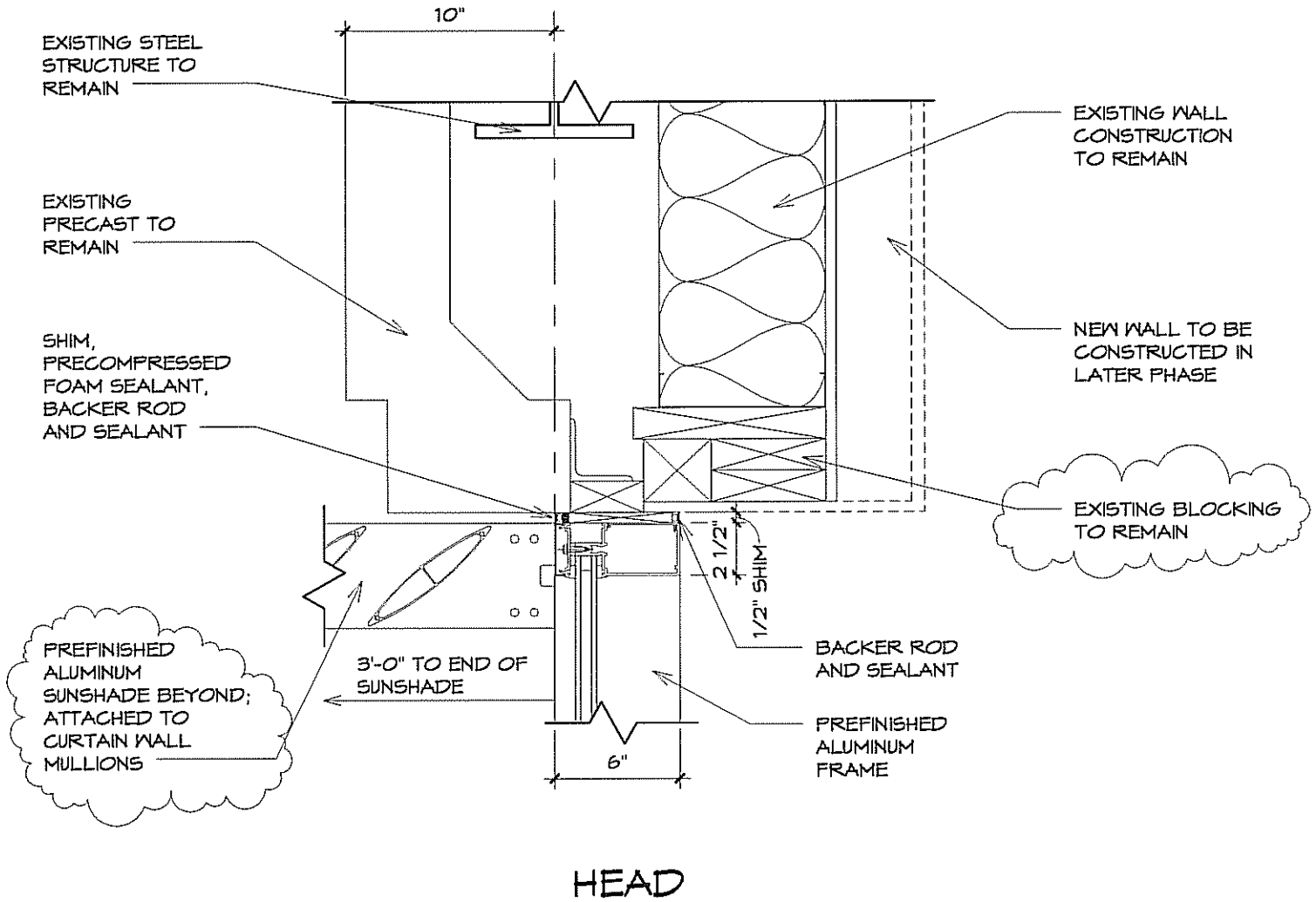
SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
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ADDENDUM #1 - DECEMBER 21, 2012

AD-13

16



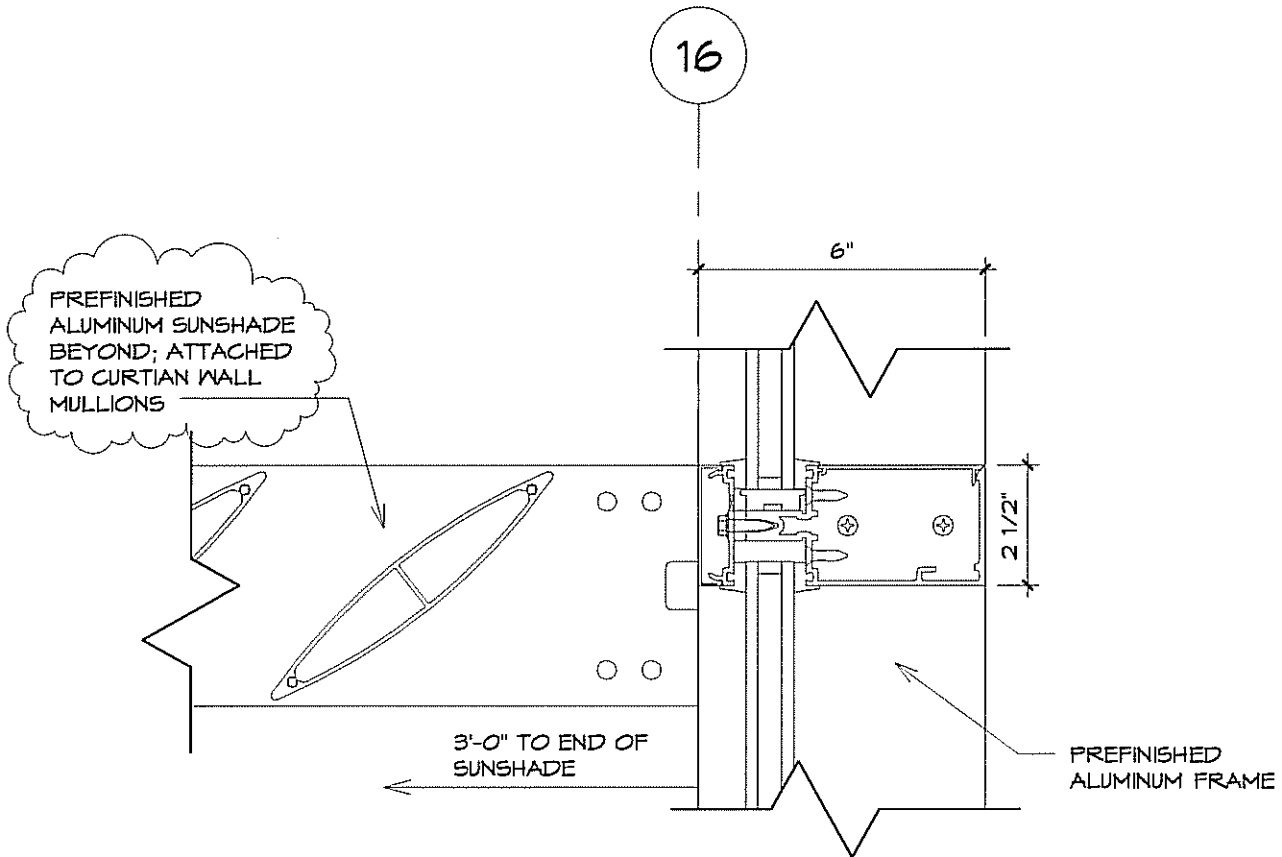
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-14



HORIZONTAL INTERMEDIATE MULLION

ALUMINUM DETAIL

SCALE: 3" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-15

16

SHIM, PRECOMPRESSED
FOAM SEALANT,
BACKER ROD AND
SEALANT

PREFINISHED
ALUMINUM FRAME

1/2" SHIM
2 1/2"

BACKER ROD
AND SEALANT

PRESSURE TREATED
WOOD BLOCKING

NEW SILL TO BE
CONSTRUCTED IN
LATER PHASE

FIRST FLOOR
324' - 3"

NEW PLYWOOD AND
VINYL BASE TO BE
CONSTRUCTED IN
LATER PHASE

METAL FLASHING
WITH DRIP EDGE;
SEE DETAIL AD-35

EXISTING FLOOR
SLAB TO REMAIN

CONT. SEALANT

EXISTING WALL
CONSTRUCTION
TO REMAIN

EXISTING STONE
BASE, PERIMETER
INSULATION AND
COMPACTED EARTH
TO REMAIN

SILL

ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-16

16

SHIM, PRECOMPRESSED
FOAM SEALANT, BACKER
ROD AND SEALANT

PREFINISHED
ALUMINUM FRAME

BACKER ROD
AND SEALANT

NEW SILL TO BE
CONSTRUCTED IN
LATER PHASE

NEW PLYWOOD AND
VINYL BASE TO BE
CONSTRUCTED IN
LATER PHASE

PRESSURE TREATED
WOOD BLOCKING

1/2" SHIM
2 1/2"

6"

4"

FIRST FLOOR
324' - 3"

EXISTING FLOOR SLAB
TO REMAIN

METAL FLASHING WITH
DRIP EDGE; SEE
DETAIL AD-35

CONT. SEALANT

MODIFIED PLANTER
GRADE

EXISTING WALL
CONSTRUCTION TO
REMAIN

EXISTING STONE BASE,
PERIMETER INSULATION
AND COMPACTED
EARTH TO REMAIN

SILL

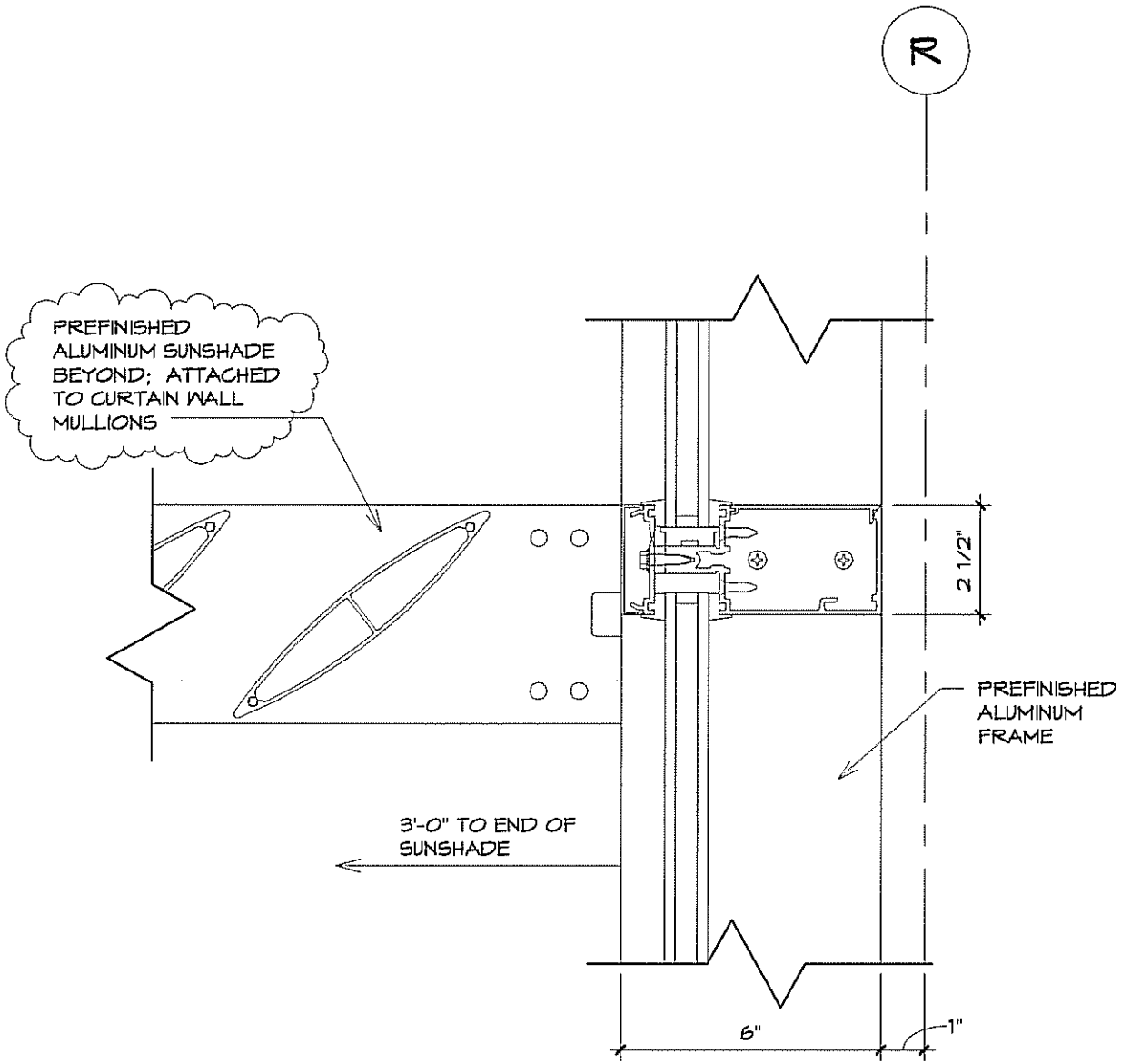
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-18



HORIZONTAL INTERMEDIATE MULLION

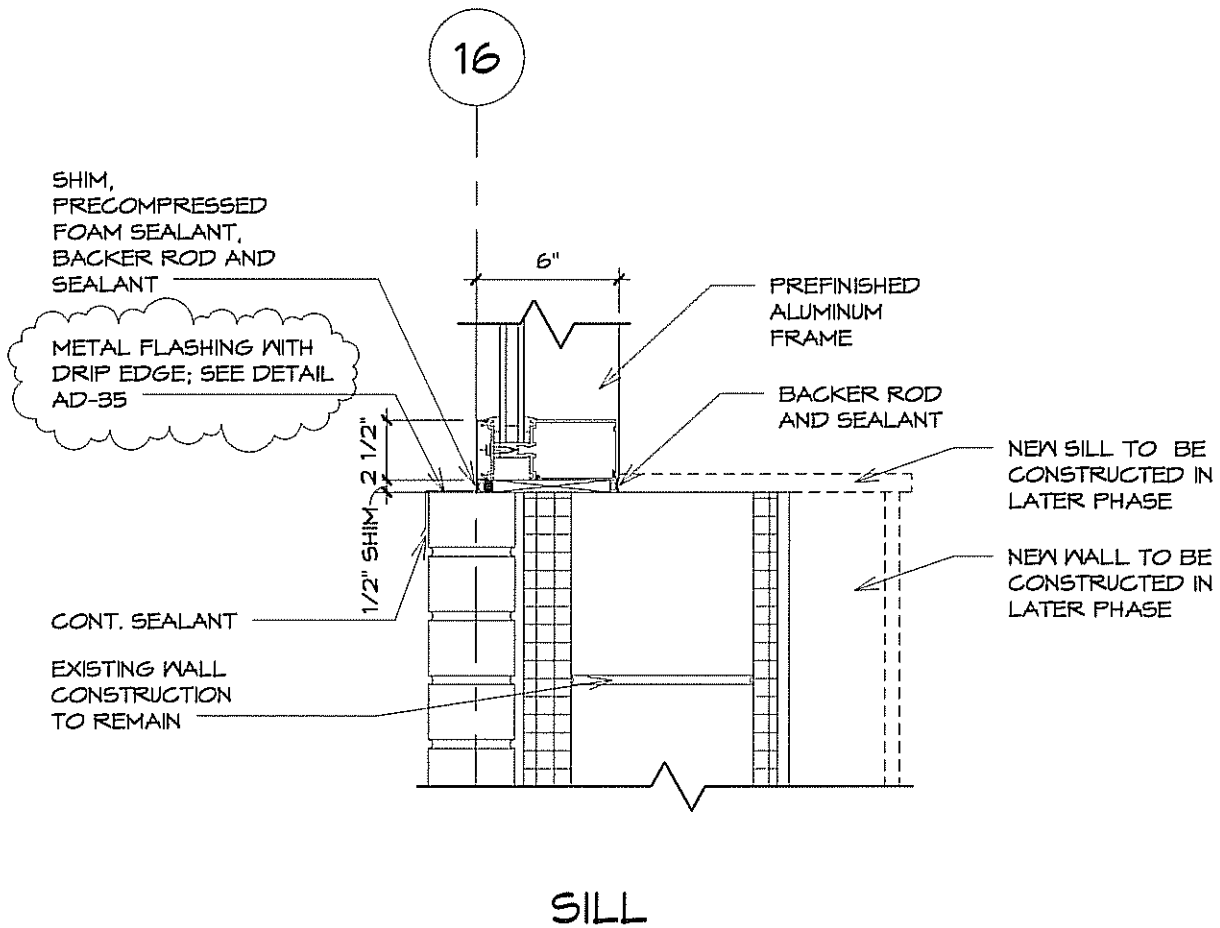
ALUMINUM DETAIL

SCALE: 3" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-20



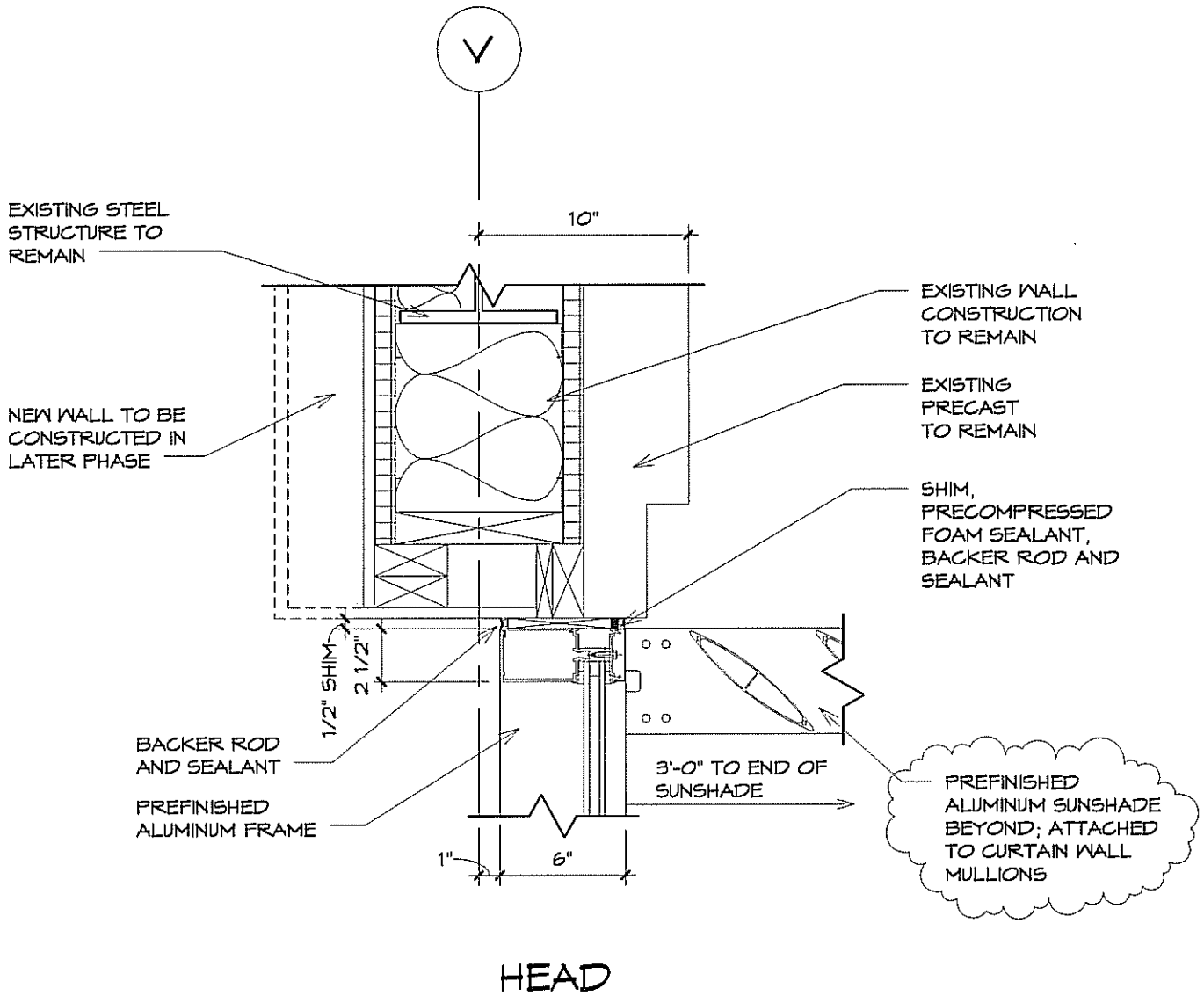
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-21

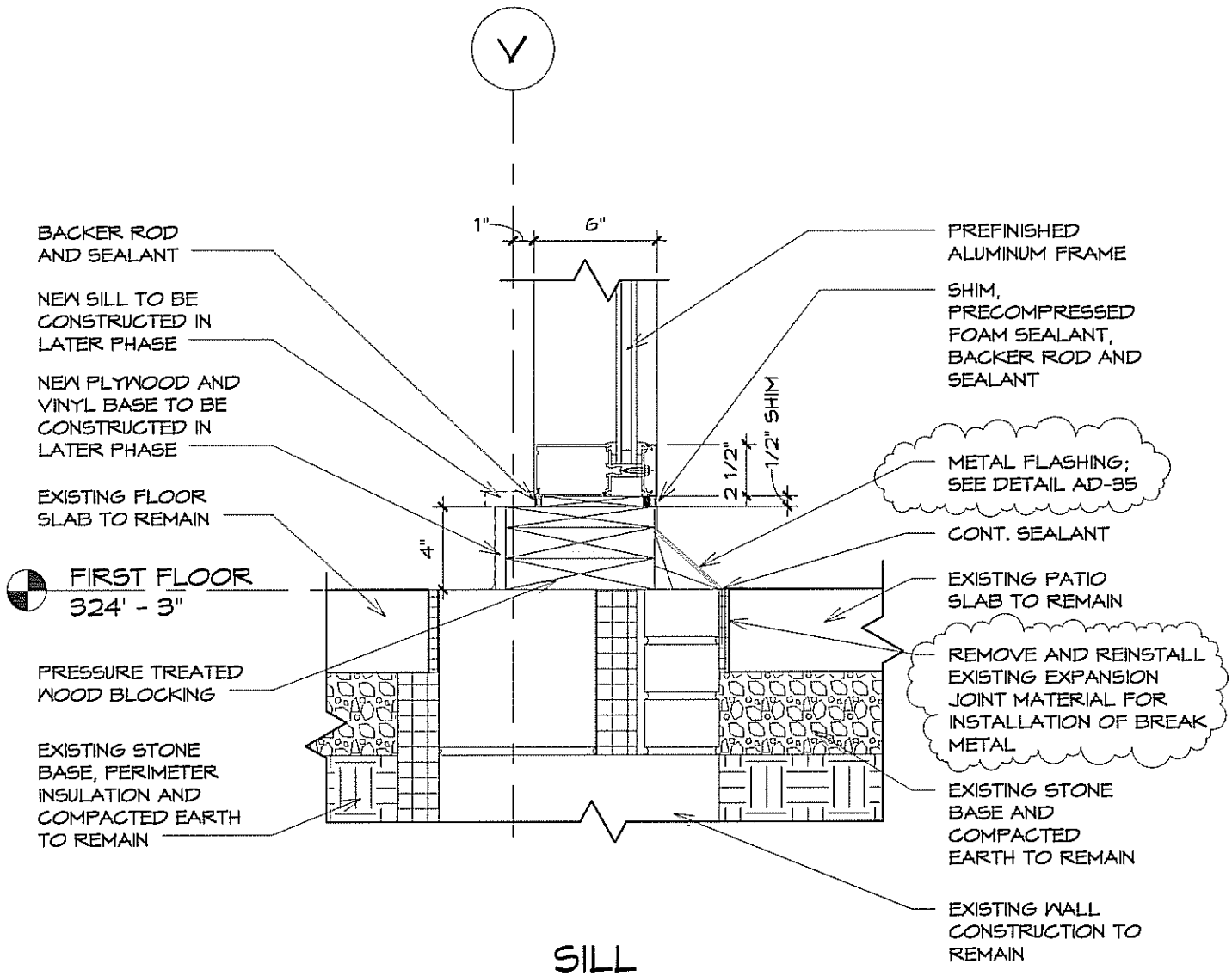


ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012



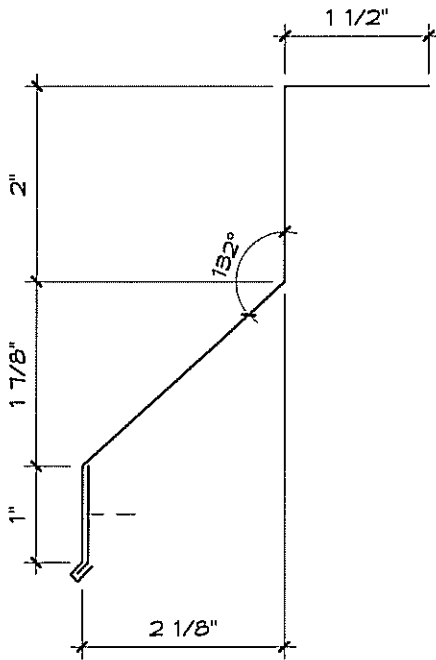
ALUMINUM DETAIL

SCALE: 1 1/2" = 1'-0"

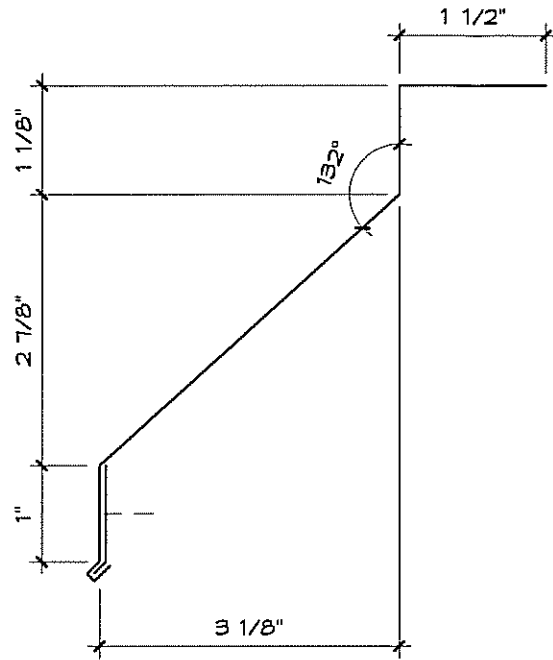
PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

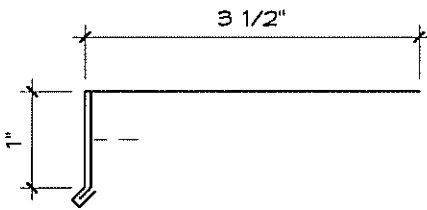
AD-23



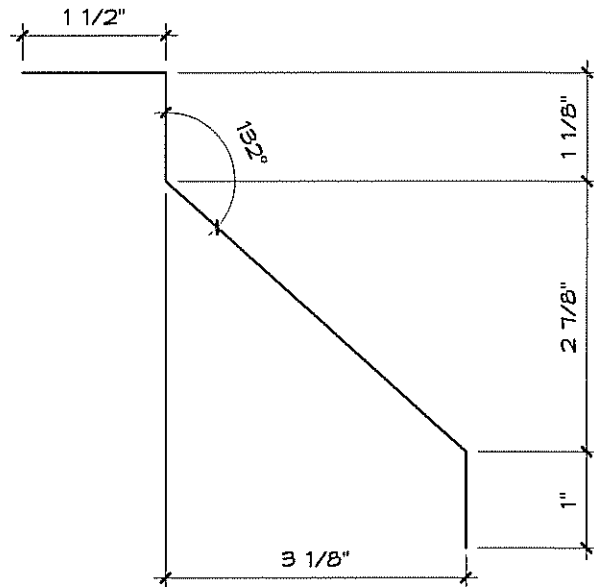
NOTE: APPLIES FOR AE-1, AE-2, AE-12, AE-13 AND AE-14



NOTE: APPLIES FOR AE-3, AE-4, AE-6, AE-7, AE-8 AND AE-9



NOTE: APPLIES FOR AE-15



NOTE: APPLIES FOR AE-5

NOTE: USE 20 GAGE BREAK METAL; COLOR TO MATCH CURTAIN WALL FINISH.

ENLARGED WINDOW FLASHING DETAILS

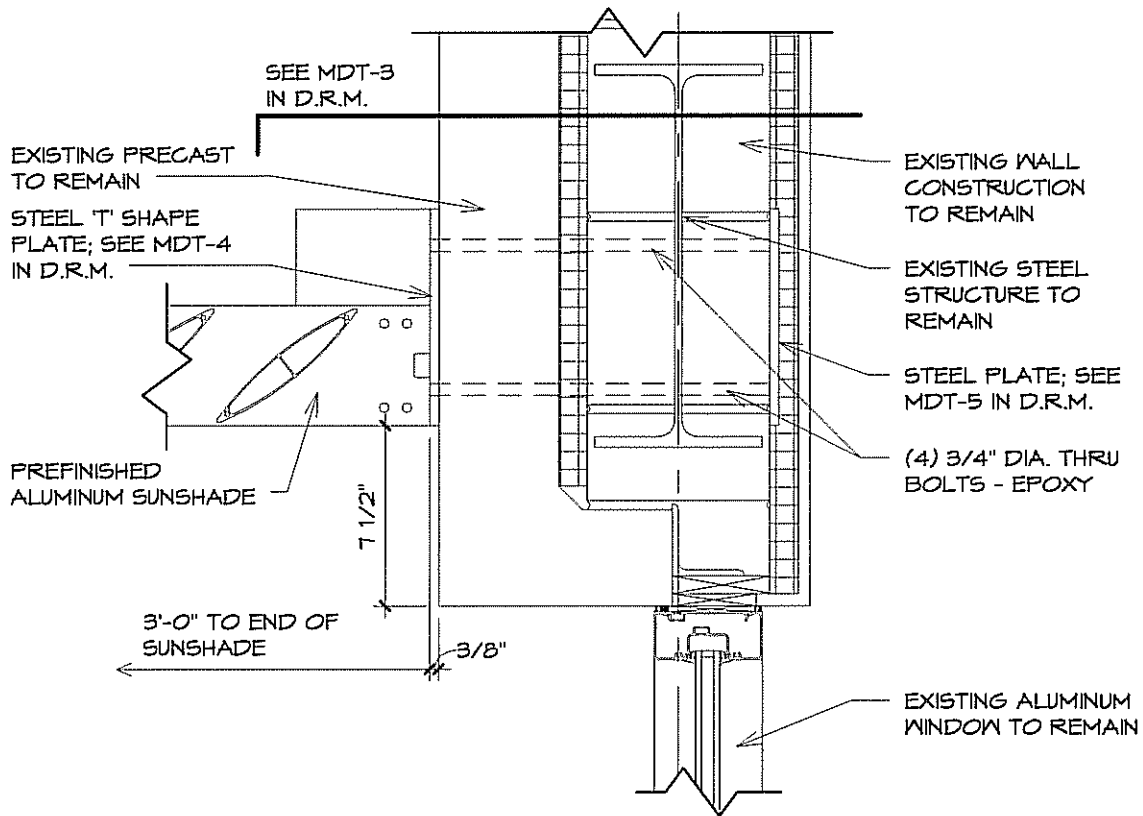
SCALE: 6" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

AD-35

16



HEAD

NOTE: THE BOLTS MUST BE DRILLED THROUGH THE PRECAST, MASONRY AND STEEL BEAM TO BE ATTACHED TO THE PLATE ON THE INSIDE OF THE BUILDING.

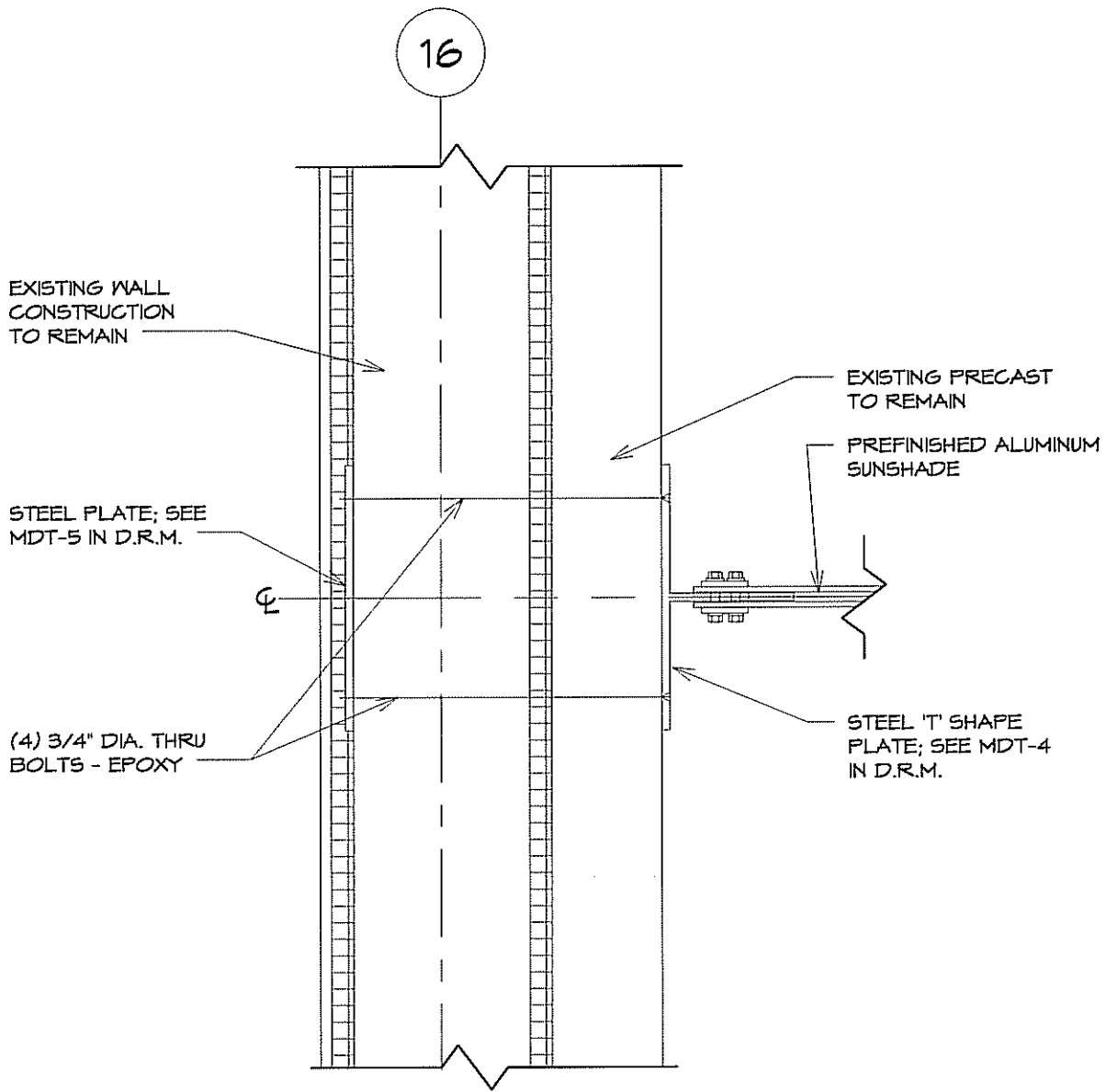
SECOND FLOOR SUNSHADE ATTACHEMENT

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-2



JAMB

NOTE: THE BOLTS MUST BE DRILLED THROUGH THE PRECAST, MASONRY AND STEEL BEAM TO BE ATTACHED TO THE PLATE ON THE INSIDE OF THE BUILDING.

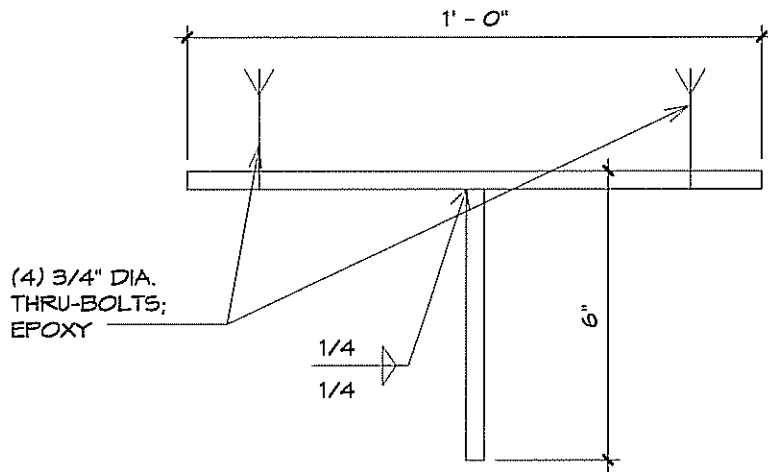
SECOND FLOOR SUNSHADE ATTACHEMENT
BETWEEN WINDOW LOCATIONS

SCALE: 1 1/2" = 1'-0"

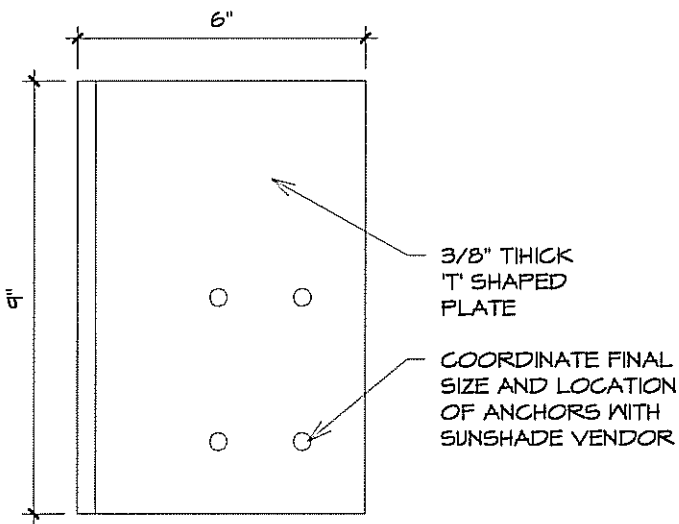
PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

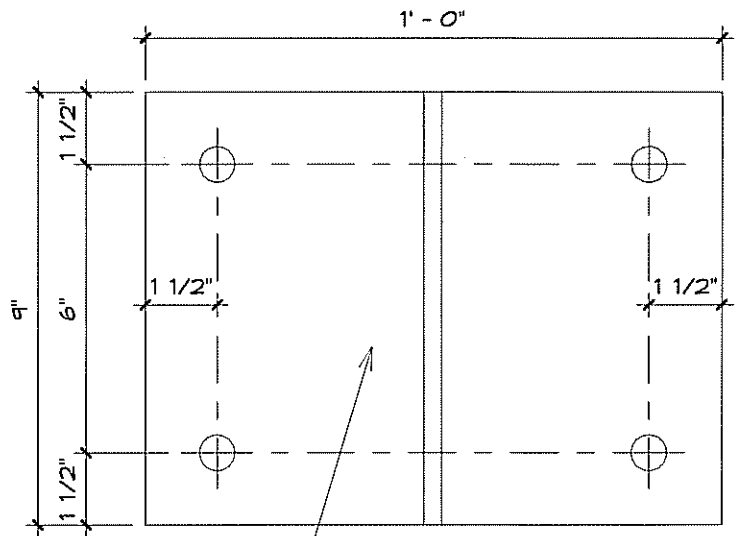
MDT-3



TOP



SIDE



FRONT

NOTE: THE BOLTS MUST BE DRILLED THROUGH THE PRECAST, MASONRY AND STEEL BEAM TO BE ATTACHED TO THE PLATE ON THE INSIDE OF THE BUILDING.

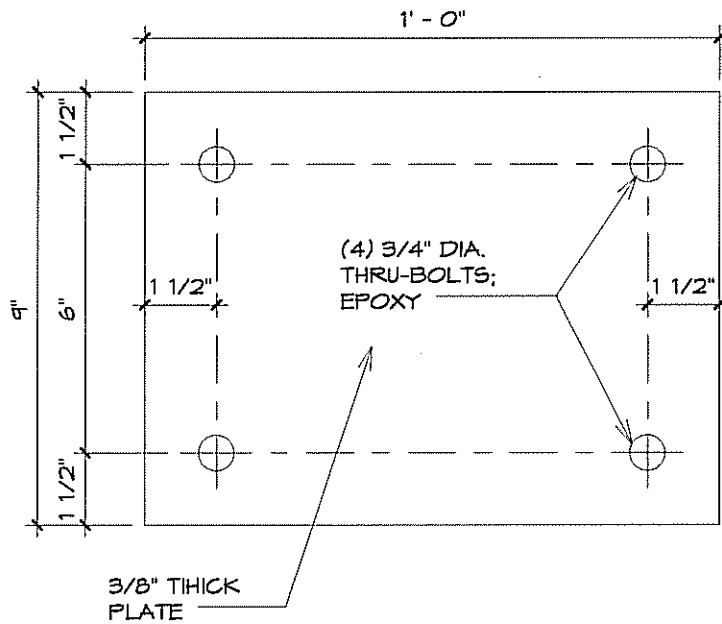
BENT PLATE DETAIL

SCALE: 3" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-4



NOTE: THE BOLTS MUST BE DRILLED THROUGH THE PRECAST, MASONRY AND STEEL BEAM TO BE ATTACHED TO THE PLATE ON THE INSIDE OF THE BUILDING.

PLATE DETAIL

SCALE: 3" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-5

NOT USED

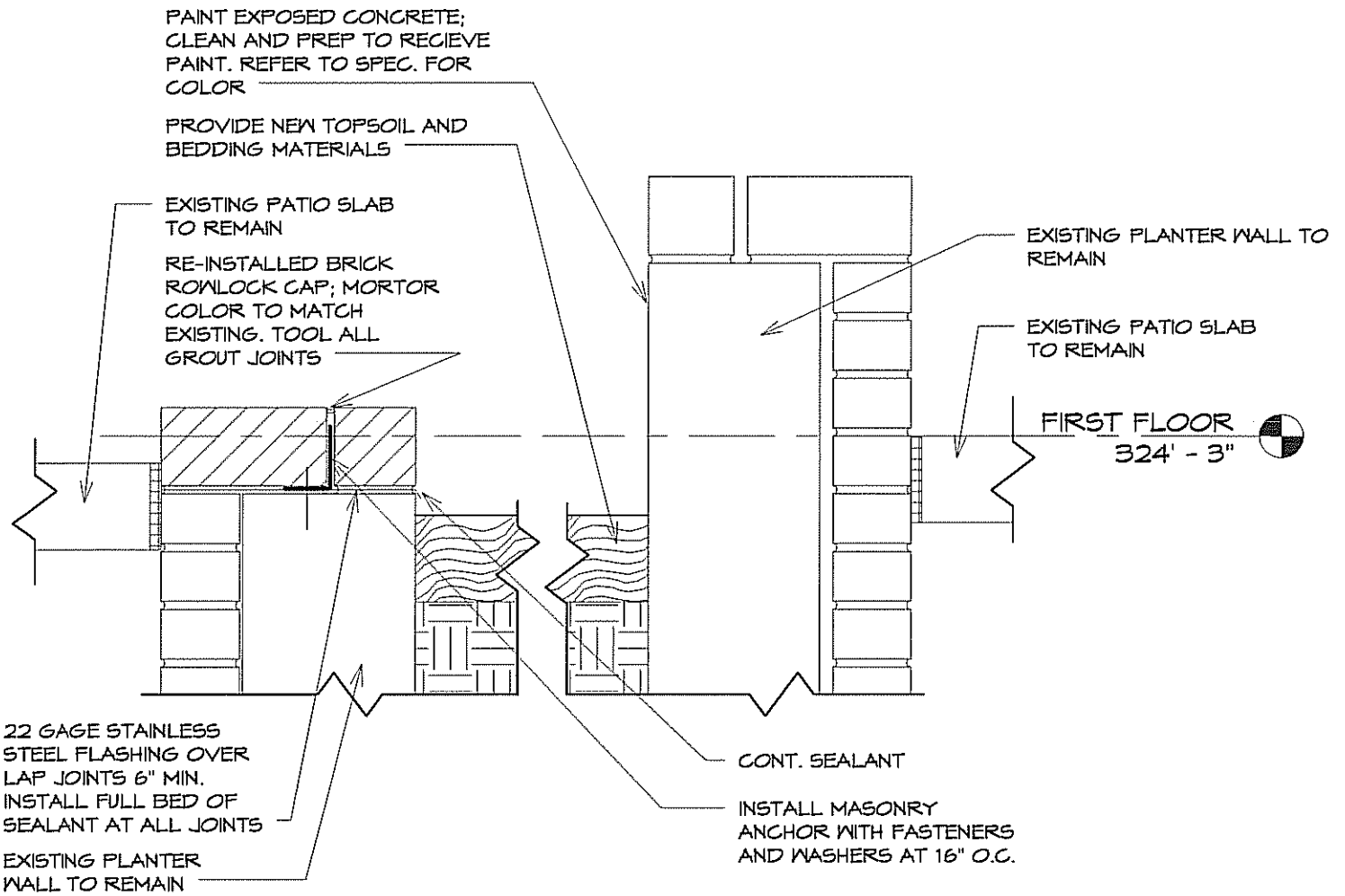
STONE STRIP DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-8



PLANTER DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-11

RE-INSTALLED BRICK
ROWLOCK CAP; MORTOR
COLOR TO MATCH
EXISTING. TOOL ALL
GROUT JOINTS

22 GAGE STAINLESS
STEEL FLASHING
OVER LAP JOINTS
6" MIN. INSTALL FULL
BED OF SEALANT
AT ALL JOINTS

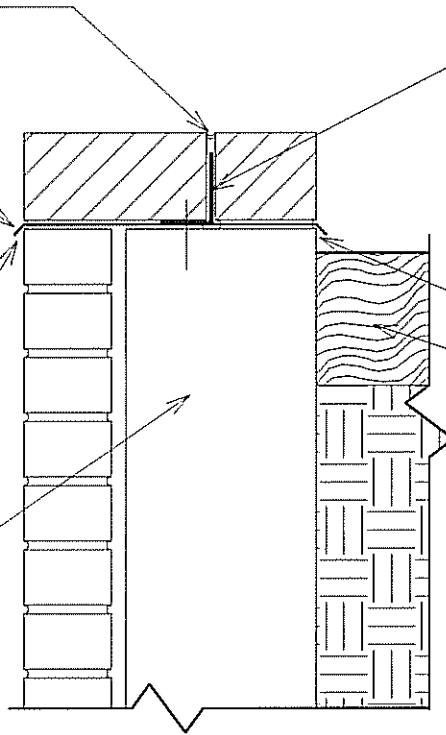
INSTALL MASONRY
ANCHOR WITH FASTENERS
AND WASHERS AT 16" O.C.

CONT. SEALANT

CONT. SEALANT

PROVIDE NEW TOPSOIL AND
BEDDING MATERIALS

EXISTING PLANTER
WALL TO REMAIN



PLANTER DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-23

RE-INSTALLED BRICK
ROWLOCK CAP; MORTAR
COLOR TO MATCH
EXISTING. TOOL ALL
GROUT JOINTS

INSTALL MASONRY
ANCHOR WITH FASTENERS
AND WASHERS AT 16" O.C.

22 GAGE STAINLESS
STEEL FLASHING
OVER LAP JOINTS
6" MIN. INSTALL FULL
BED OF SEALANT
AT ALL JOINTS

CONT. SEALANT

EXISTING PLANTER
WALL TO REMAIN

EXISTING PATIO SLAB
TO REMAIN

INSTALL MATERIAL TO
PROVIDE SEPERATION
BETWEEN DISCIMILAR
MATERIALS

CONT. SEALANT

BEND TAB OVER AT
EACH RIB

PRESSURE TREATED
WOOD BLOCKING

BREAK METAL RIB
BEYOND

ANODIZED ALUMINUM
BREAK METAL (COLOR
TO MATCH CURTAIN
WALL); 18 GUAGE

7/8" METAL FURRING

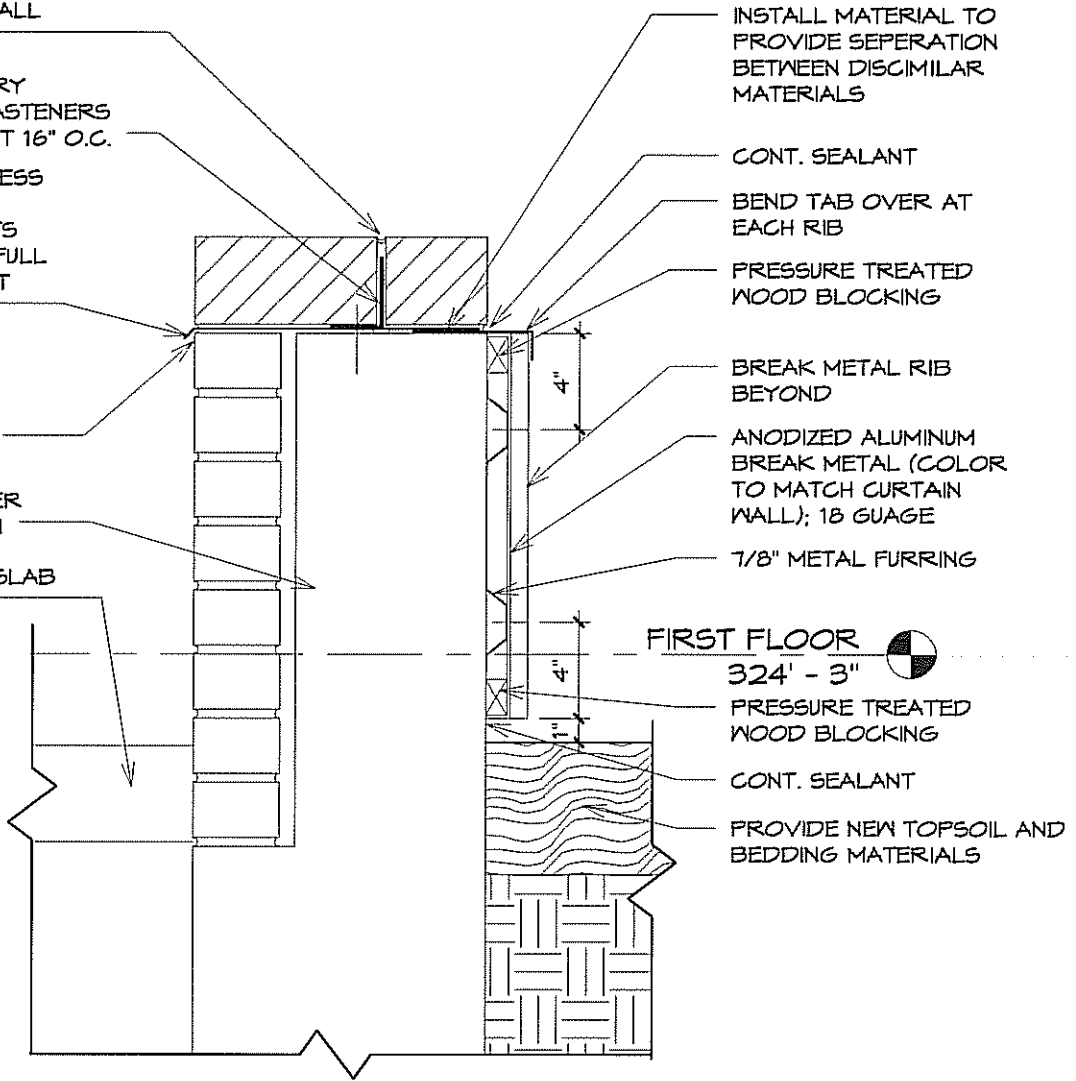
FIRST FLOOR

324' - 3"

PRESSURE TREATED
WOOD BLOCKING

CONT. SEALANT

PROVIDE NEW TOPSOIL AND
BEDDING MATERIALS



PLANTER DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-27

RE-INSTALLED BRICK
ROWLOCK CAP; MORTOR
COLOR TO MATCH
EXISTING. TOOL ALL
GROUT JOINTS

22 GAGE STAINLESS
STEEL FLASHING
OVER LAP JOINTS
6" MIN. INSTALL FULL
BED OF SEALANT
AT ALL JOINTS

CONT. SEALANT

EXISTING PLANTER
WALL TO REMAIN


EXISTING PATIO SLAB
OR RAMP SLAB TO
REMAIN

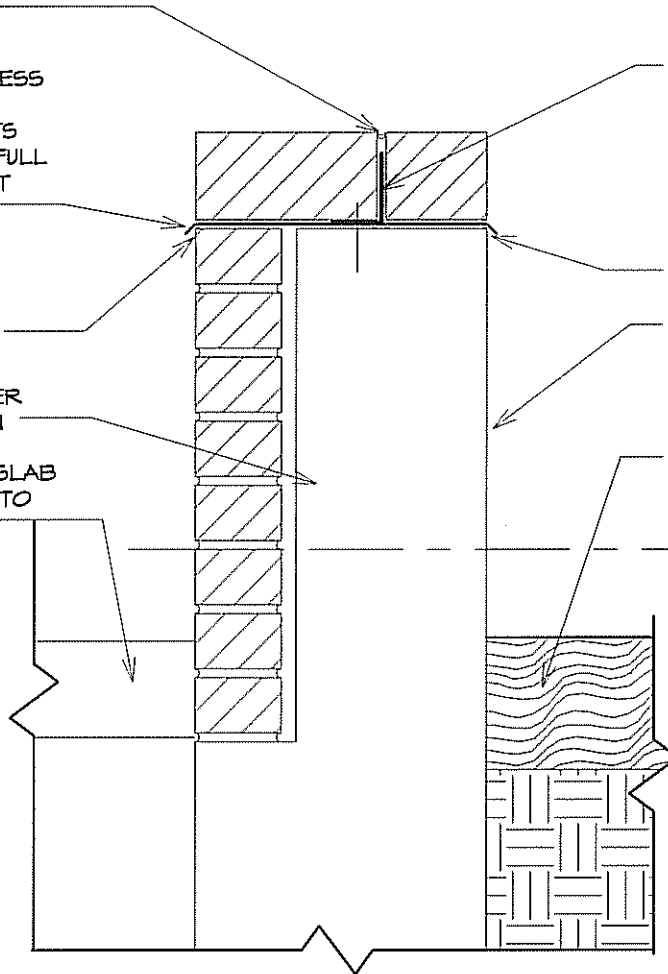
INSTALL MASONRY
ANCHOR WITH FASTENERS
AND WASHERS AT 16" O.C.

CONT. SEALANT

PAINT EXPOSED CONCRETE;
CLEAN AND PREP TO RECIEVE
PAINT. REFER TO SPEC. FOR
COLOR

PROVIDE NEW TOPSOIL AND
BEDDING MATERIALS

FIRST FLOOR
324' - 3" 



PLANTER DETAIL

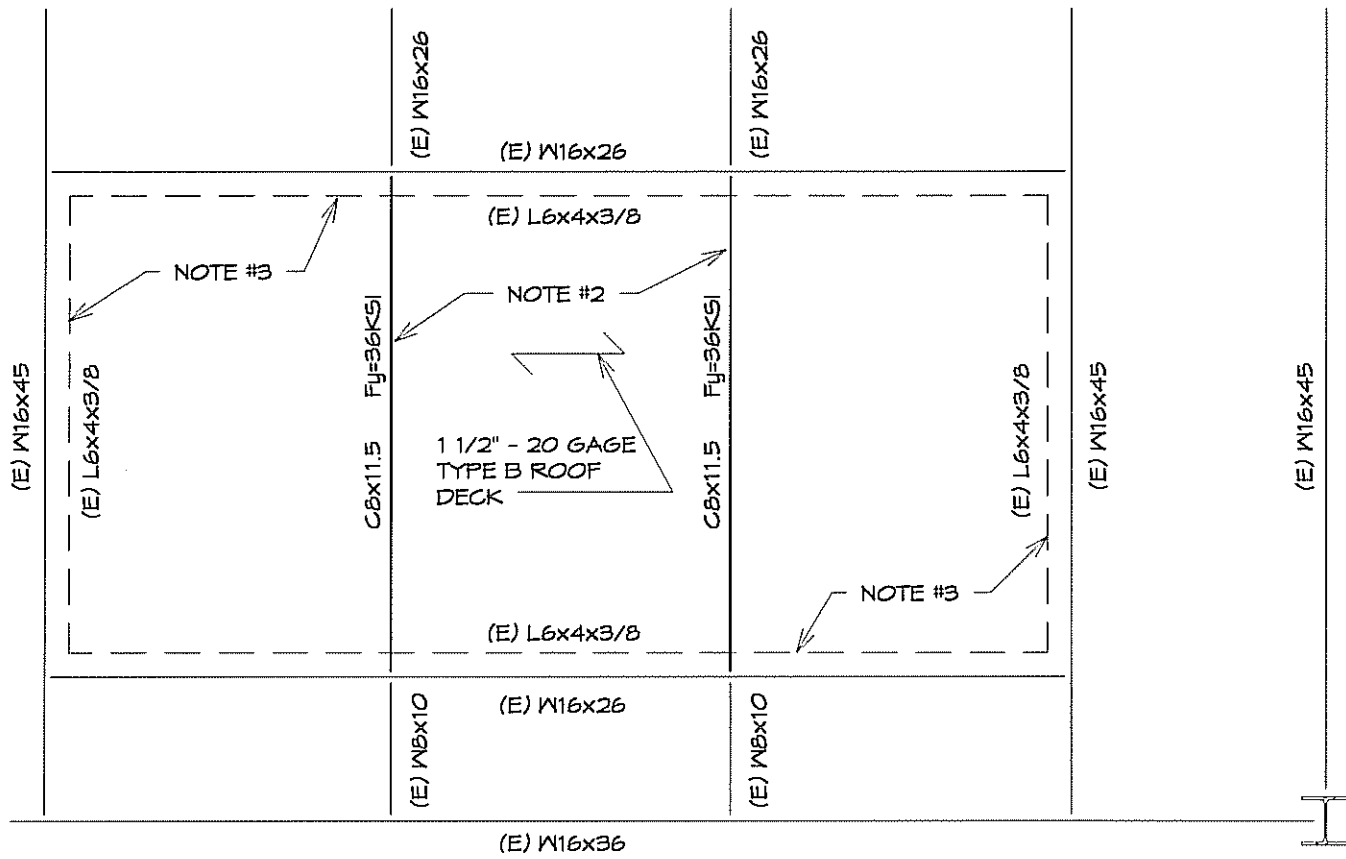
SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-33

D



9

PARTIAL PLAN

- NOTES:
1. FASTEN NEW DECK TO SUPPORT USING 5/8" PUDDLE WELD EACH FLUTE OR NO. 12 SELF TAPPING SCREWS.
 2. ATTACH NEW CHANNEL TO EXISTING W16x26 WITH 3/8" X 6" SHEAR TABS WELDED TO EXISTING WITH 1/4" FILLET WELD.
 3. REMOVE EXISTING ANGLES FOR INSTALLATION OF NEW DECKING.

STRUCTURAL COOLING TOWER INFILL

SCALE: 3/8" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

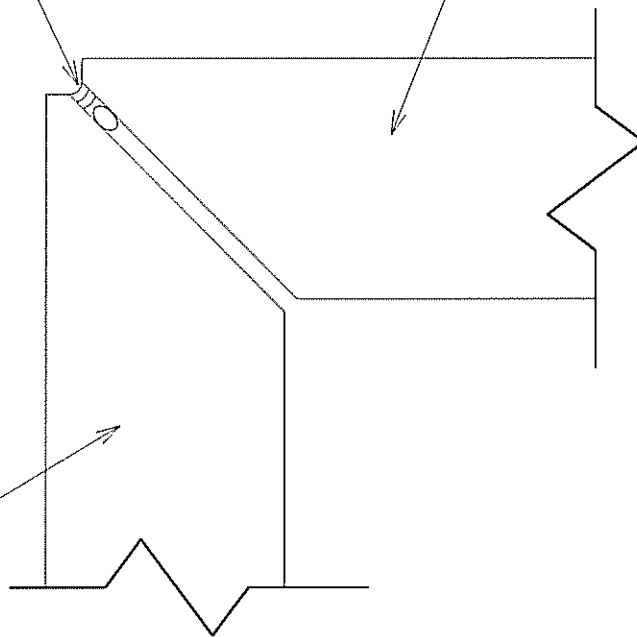
ADDENDUM #1 - DECEMBER 21, 2012

MDT-35

REMOVE SEALANT & BACKER
MATERIAL AND INSTALL
NEW SEALANT & BACKER
MATERIALS

EXISTING PRECAST TO
REMAIN

EXISTING PRECAST TO
REMAIN



TYPICAL SEALANT DETAIL

SCALE: 3" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

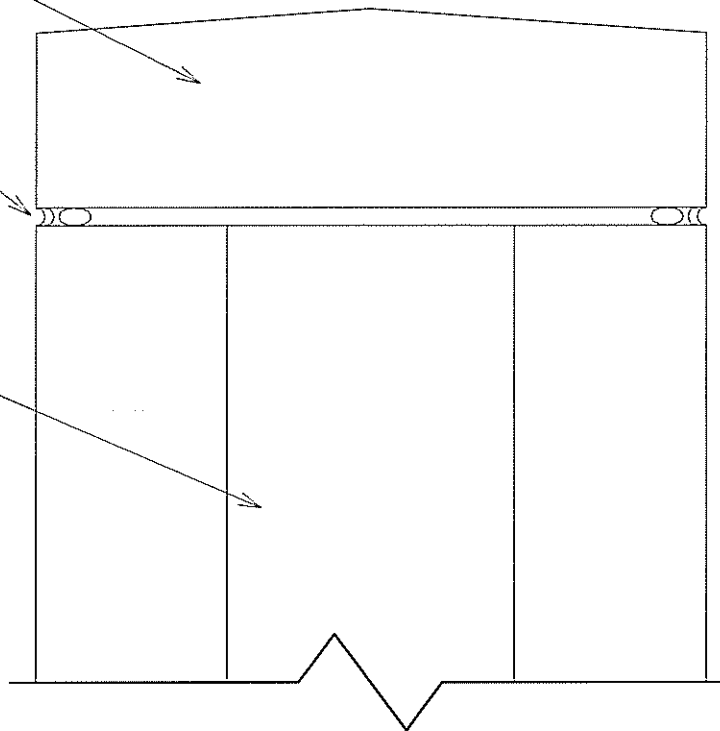
ADDENDUM #1 - DECEMBER 21, 2012

MDT-36

EXISTING PRECAST
CAP TO REMAIN

REMOVE SEALANT &
BACKER MATERIAL AND
INSTALL NEW SEALANT &
BACKER MATERIALS.
BOTH SIDES OF THE WALL

EXISTING PRECAST
WALL TO REMAIN



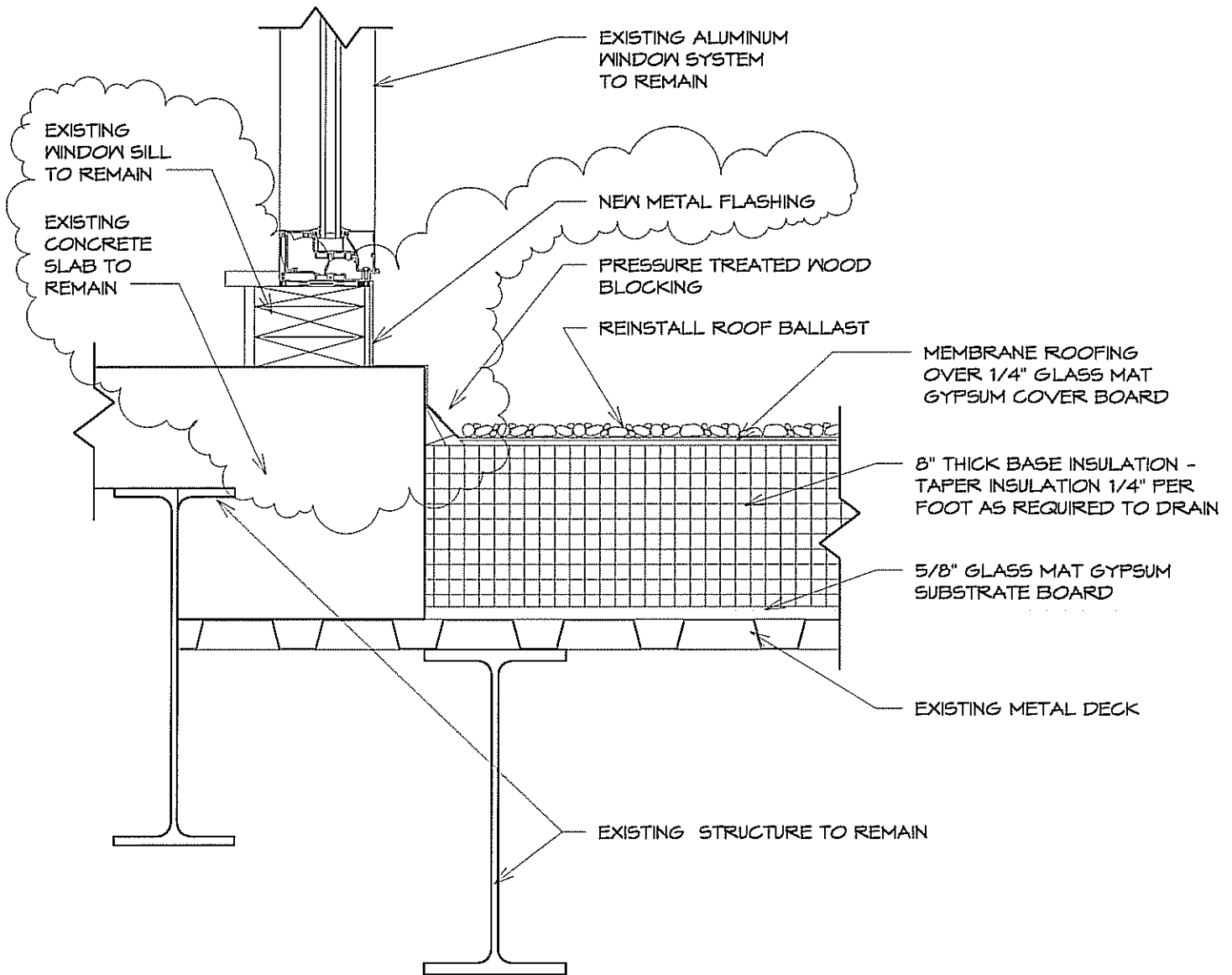
TYPICAL SEALANT DETAIL

SCALE: 3" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

MDT-37



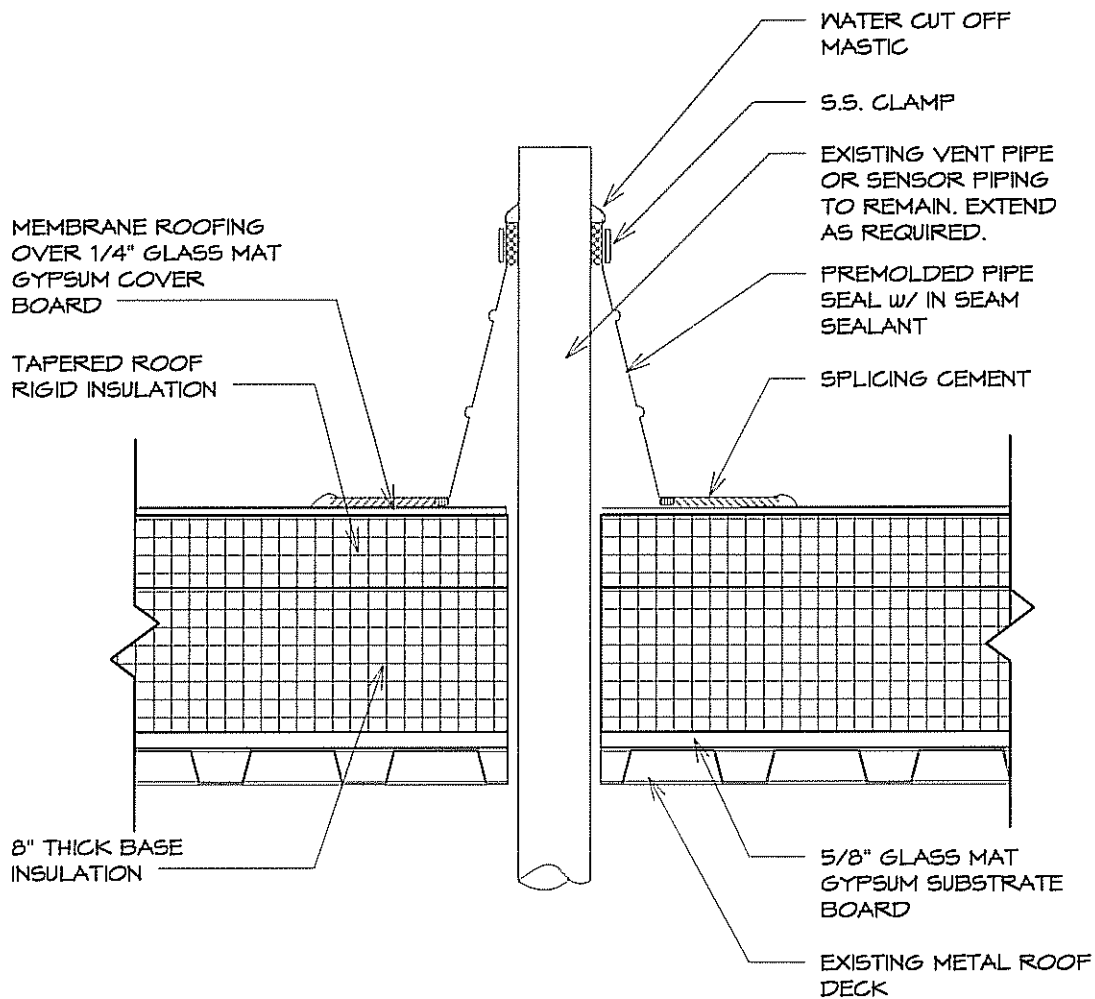
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-9



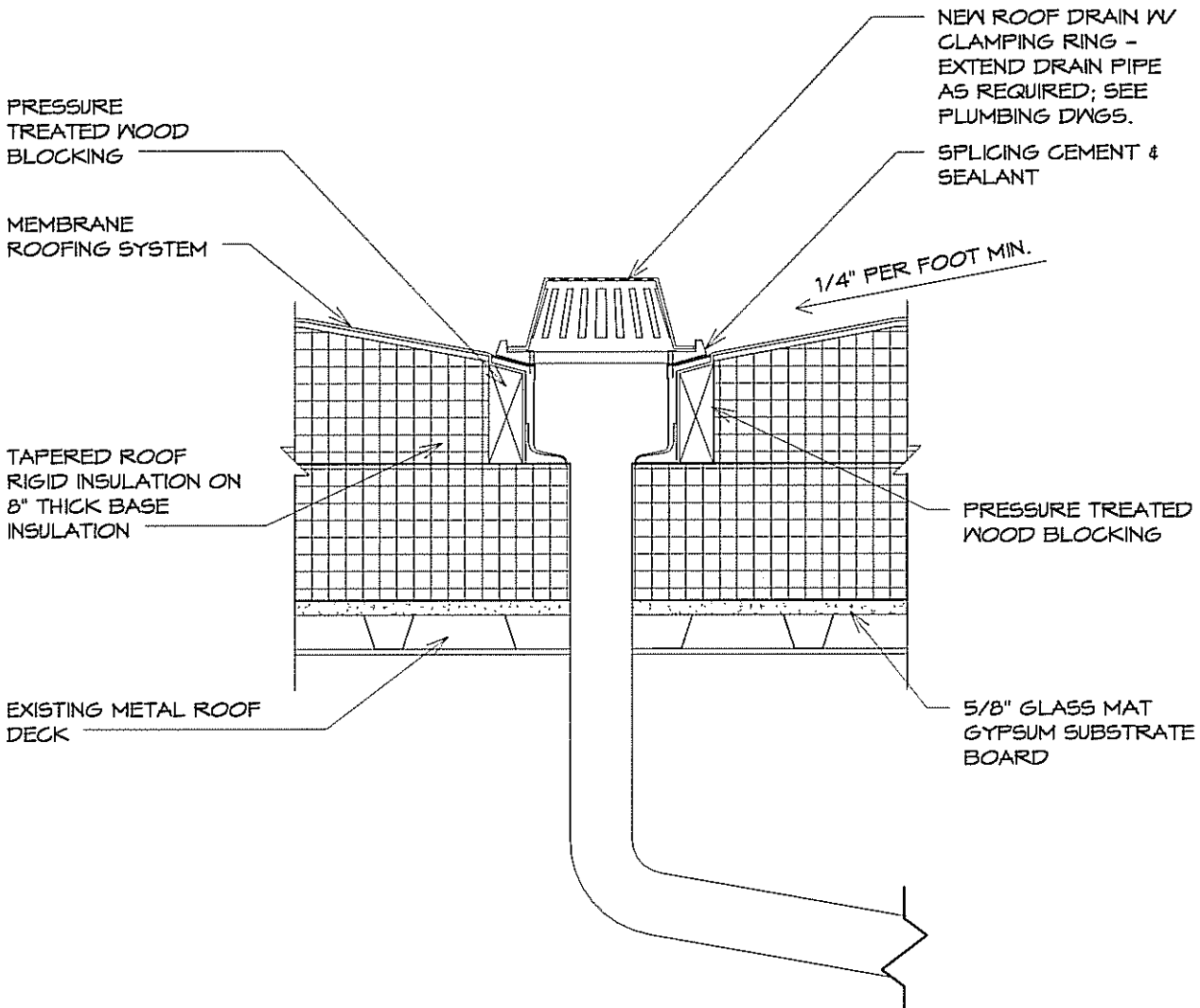
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-10



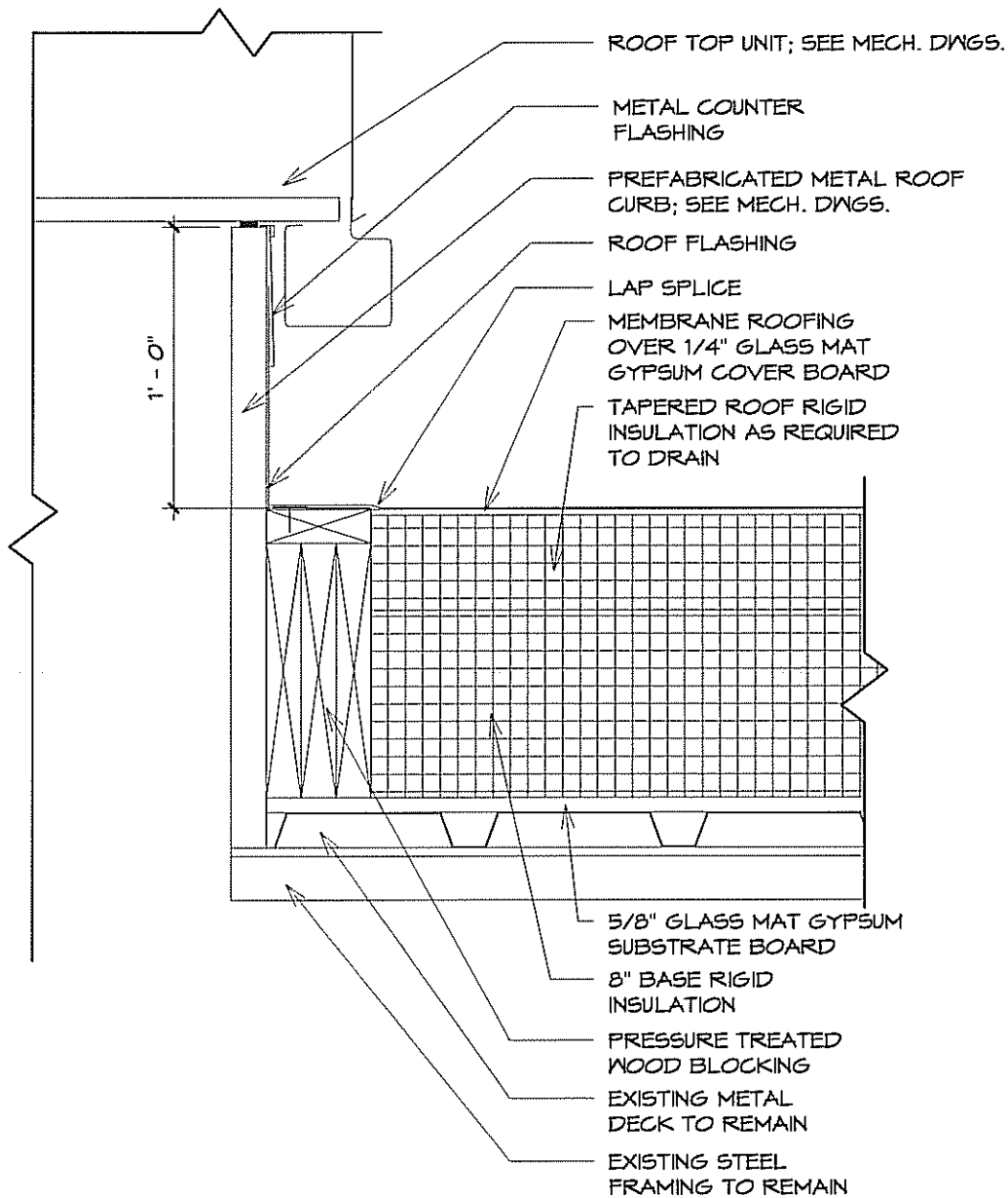
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-11



ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-12

REMOVE EXISTING COOLING
TOWER RELIEF VENT AND
ASSOCIATED CURB

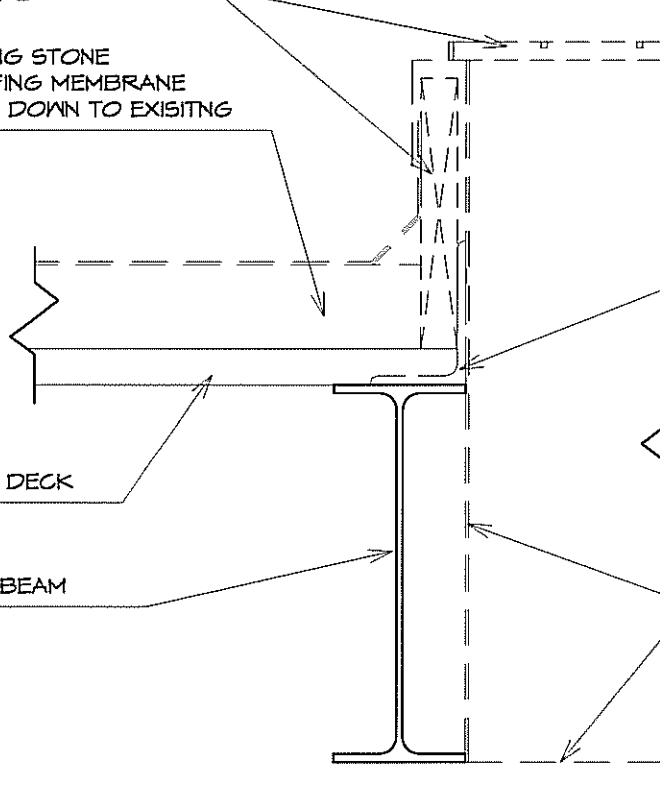
REMOVE EXISTING STONE
BALLAST, ROOFING MEMBRANE
AND INSULATION DOWN TO EXISTING
METAL DECK

EXISTING METAL DECK
TO REMAIN

EXISTING STEEL BEAM
TO REMAIN

REMOVE EXISTING STEEL
ANGLE

REMOVE EXISTING SHEET
METAL COVER



NOTE: APPLIES TO ALL SIDES OF COOLING TOWER RELIEF VENT ENCLOSURE.

COOLING TOWER RELIEF VENT - DEMOLITION

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-17

REMOVE EXISTING COOLING
TOWER RELIEF VENT AND
ASSOCIATED CURB

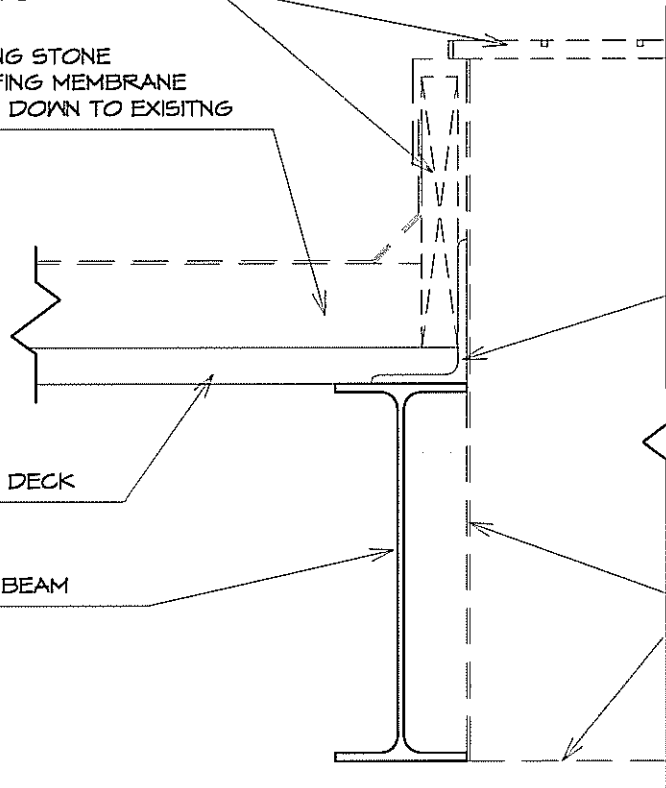
REMOVE EXISTING STONE
BALLAST, ROOFING MEMBRANE
AND INSULATION DOWN TO EXISTING
METAL DECK

EXISTING METAL DECK
TO REMAIN

EXISTING STEEL BEAM
TO REMAIN

EXISTING STEEL ANGLE
TO REMAIN

REMOVE EXISTING SHEET
METAL COVER



NOTE: APPLIES TO ALL SIDES OF COOLING TOWER RELIEF VENT ENCLOSURE.

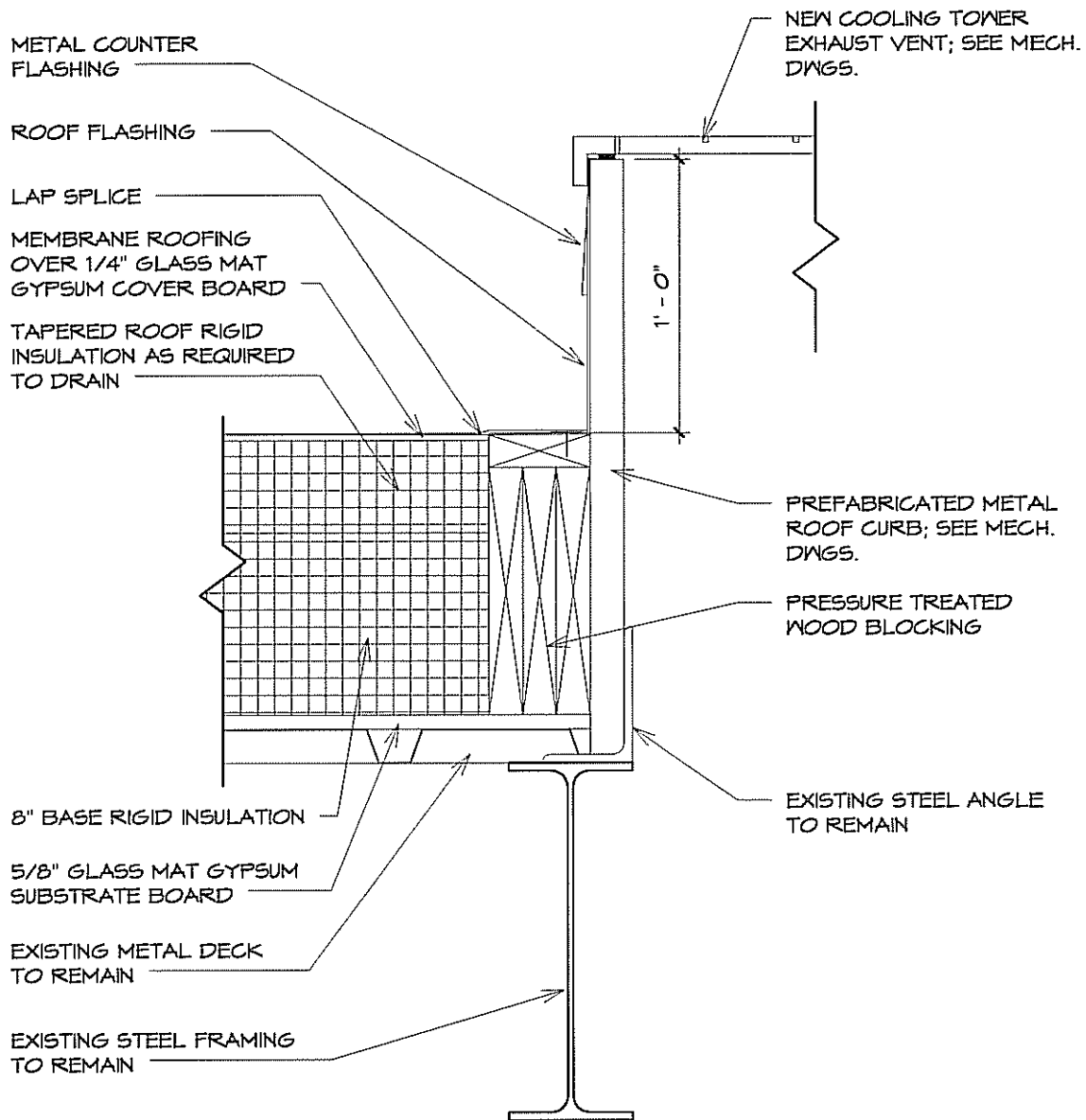
COOLING TOWER RELIEF VENT - DEMOLITION

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC CENTRAL
ADMINISTRATION BUILDING/ DECEMBER 10, 2012
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-18



NOTE: APPLIES TO ALL SIDES OF COLLING TOWER RELIEF VENT ENCLOSURE.

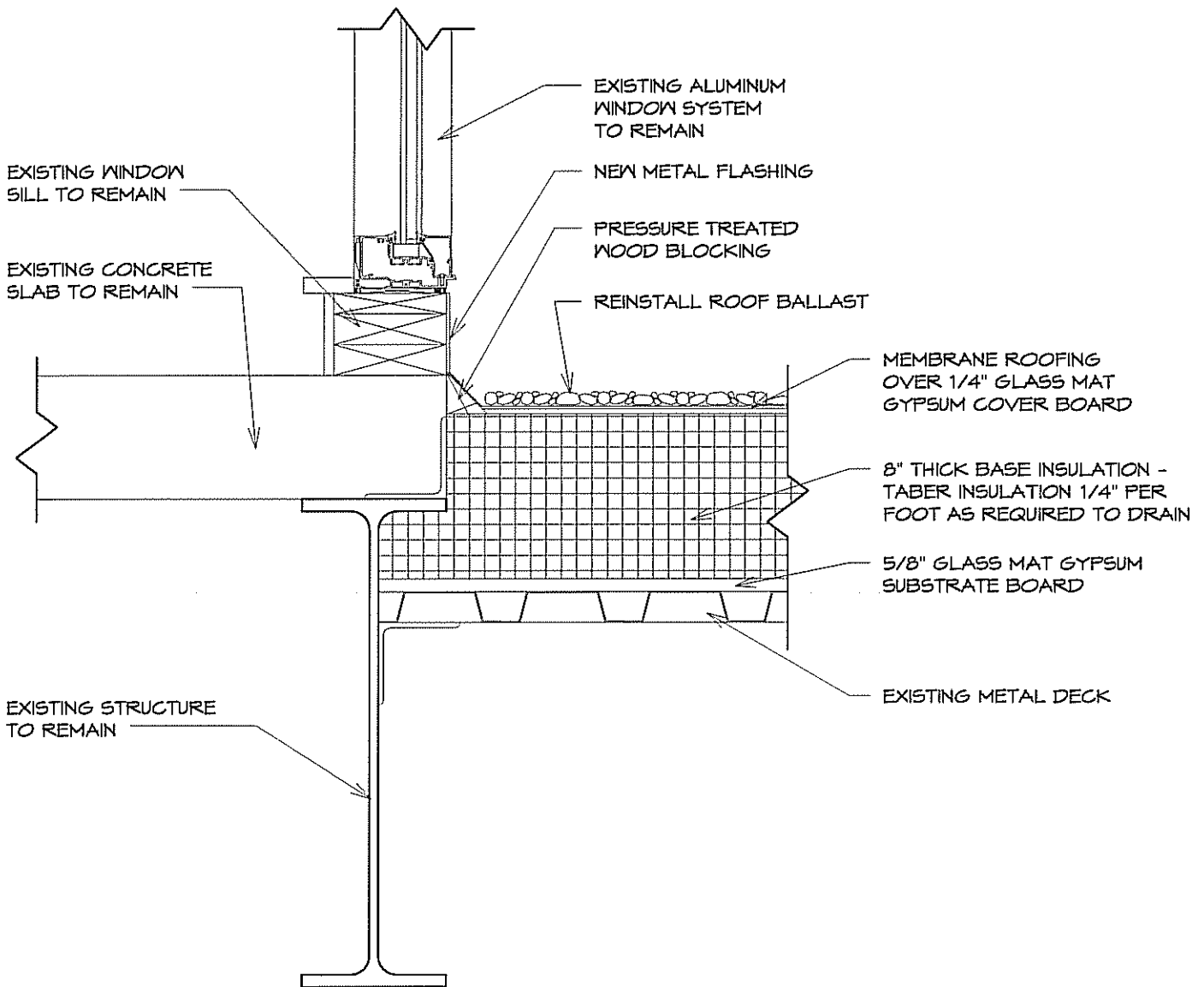
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-19



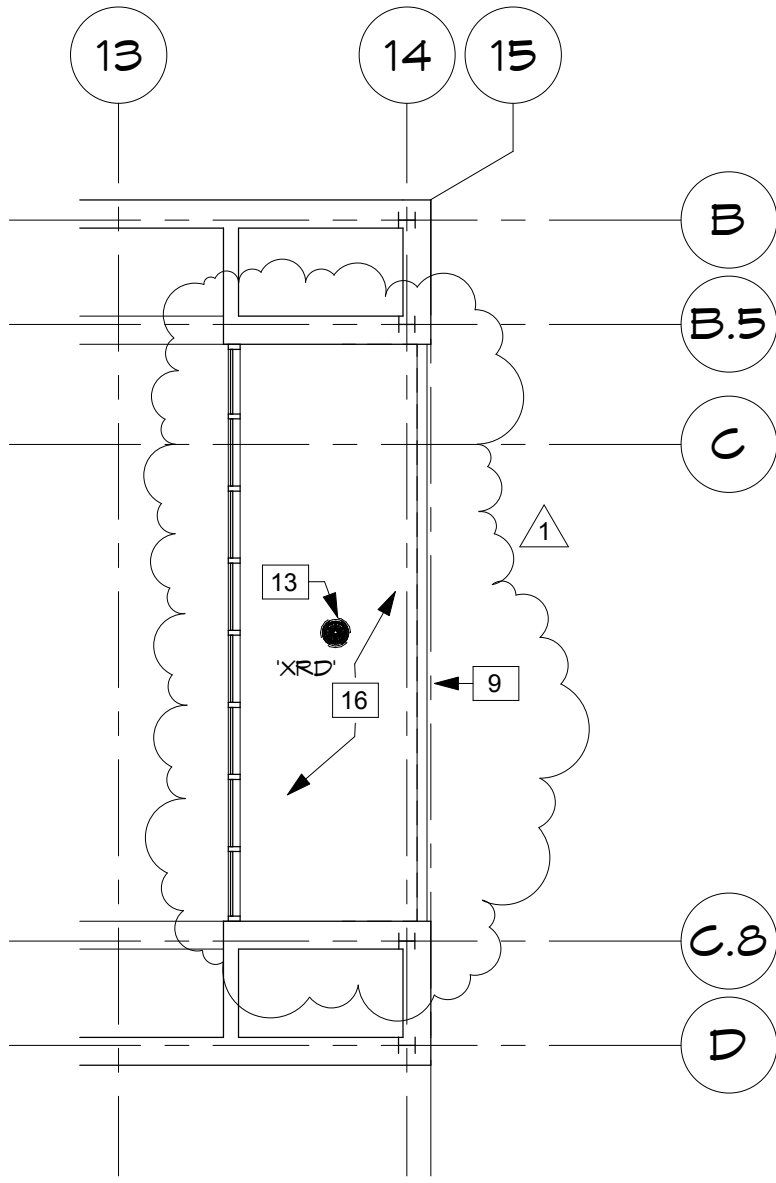
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 2 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC CENTRAL
 ADMINISTRATION BUILDING/ DECEMBER 10, 2012
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - DECEMBER 21, 2012

RD-20



**PARTIAL LARGE SCALE DEMOLITION
SECOND FLOOR PLAN - SECTION A**

SCALE: 1/8" = 1'-0"

(REF. TO DWG. X2.6)

Revisions		
No.	Date	Description
1	12/21/12	ADDENDUM #1

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

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CONSULTANT: OWNERS REPRESENTATIVE

EASTERN PCM, LLC
645 N. 12TH STREET
SUITE 200
LEMOYNE, PA 17043
717-233-3816



**ALTERATIONS TO HACC
CENTRAL ADMINISTRATION
BUILDING**

HARRISBURG, PA

**PARTIAL LARGE SCALE
DEMOLITION SECOND
FLOOR PLAN - SECTION A**

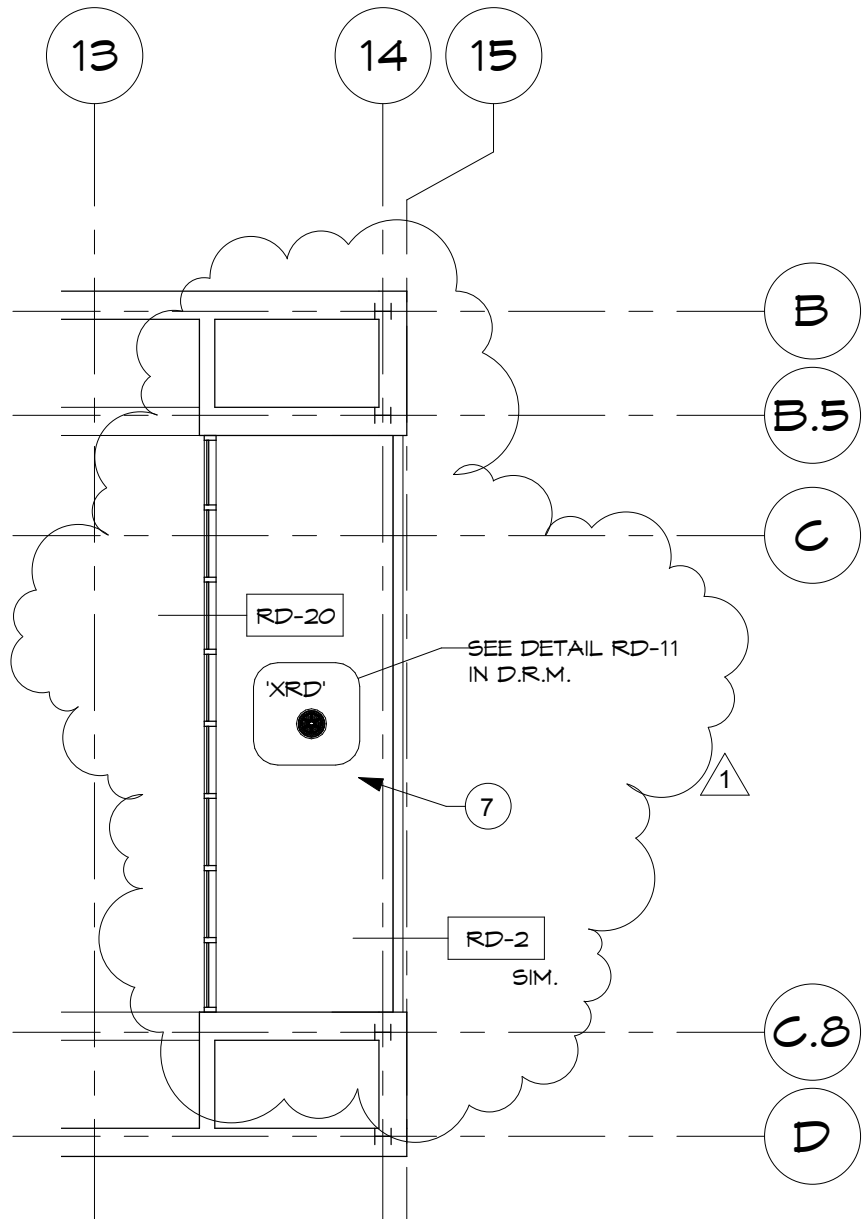
**CONSTRUCTION
DOCUMENTS**

DRAWN BY: TAB	CHECKED BY: BHD
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DATE:
DECEMBER 10, 2012

PROJECT NUMBER:
3395

DRAWING NUMBER:
SKA-1
PHASE 2



PARTIAL LARGE SCALE NEW SECOND FLOOR PLAN - SECTION A

SCALE: 1/8" = 1'-0"

(REF. TO DWG. A2.6)

Revisions		
No.	Date	Description
1	12/21/12	ADDENDUM #1

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

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717-233-3016



**ALTERATIONS TO HACC
CENTRAL ADMINISTRATION
BUILDING**

HARRISBURG, PA

**PARTIAL LARGE SCALE
NEW SECOND FLOOR PLAN
- SECTION A**

**CONSTRUCTION
DOCUMENTS**

DRAWN BY: TAB	CHECKED BY: BHD
-------------------------	---------------------------

DATE:
DECEMBER 10, 2012

PROJECT NUMBER:
3395

DRAWING NUMBER:
SKA-2
PHASE 2