



ADDENDUM #1

February 22, 2013

Re: Harrisburg Area Community College
Central Administration Building
Phase 3 – Interior Fitout
Solicitation # RFB13-15

From: Eastern PCM, LLC
Construction Manager – HACC
645 N. 12th Street, Suite 200
Lemoyne, PA 17043

To: All Planholders

This Addendum is hereby made part of the Plans dated February 8, 2013 and Project Manual dated February 13, 2013 for the above referenced project. The provisions of this Addendum are intended to supplement the provisions of the Plans and Project Manual and/or supersede them where contradictory thereto.

This Addendum contains changes to the requirements of the Plans and Project Manual. Such changes shall be incorporated into the Plans and Project Manual and shall apply to work with the same meaning and force as if they had been included in the original Plans and Project Manual. Where this Addendum modifies a portion of a paragraph or phrase of the Project Manual, the remaining unmodified portion of the paragraph or phrase shall remain in force.

The conditions and terms of the Plans and Project Manual shall govern work described in this Addendum. Whenever the conditions of work, or the quality or quantity of materials or workmanship are not fully described in this Addendum, the conditions of work etc. included in the Plans and Project Manual for similar items of work shall apply to the work described in this Addendum. If no similar items of work are included in the Plans and Project Manual, the quality of material and workmanship shall be subject to the written acceptance of the Architect.

1.1 PRE-BID MEETING MINUTES

Meeting minutes from the Pre-Bid Meeting held on February 19, 2013 are attached and are a part of this Addendum. In the event of a conflict between the information contained in the Pre-Bid Meeting Notes and the Drawings, Specifications and responses to questions contained in this Addendum, the latter shall take precedence.

1.3 CHANGES TO THE SPECIFICATIONS

A. 06410 – Custom Cabinets:

- a. ADD the following to paragraph 2.08.N.1:

“e. Manufacturer: Hafele
f. Model: 287.42.403”

- b. ADD the following to paragraph 2.08:

“O. Z-clips

1. Manufacturer

- a. Mockett; www.dougmockett.com
b. Monarch; www.monarchmetal.com
c. or equal.

2. Material: Aluminum

3. Size: 2” long

4. Quantity: As required for each installation condition.”

B. 09260 – Gypsum Board Assemblies: ADD item 3.07.C.7

“7. Where Level 5 gypsum board finish is indicated sand entire surface of existing textured paint prior to installing skim coat. Apply a thin, uniform skim coat of joint compound over entire surface. Touch up and sand after last coat as needed to produce a surface free of visual defects, tool marks, and ridges and ready for paint.”

1.4 CHANGES TO THE DRAWINGS

A. Drawing X2.3: REPLACE this sheet in its entirety.

B. Drawing X2.6: REVISE per SKA-1.

C. Drawing X2.8: REPLACE this sheet in its entirety.

D. Drawing X2.9: REVISE per SKA-2.

E. Drawing A2.3: REPLACE this sheet in its entirety.

F. Drawing A2.8: REPLACE this sheet in its entirety.

G. Drawing A2.9: REVISE per SKA-3.

H. Drawing A6.1: DELETE New Construction Keynote #21 at all locations.

I. Drawing A6.2: DELETE New Construction Keynote #21 at all locations.

J. Drawing A6.5: DELETE New Construction Keynote #21 at all locations.

K. Drawing A6.6: DELETE New Construction Keynote #21 at all locations.

- L. Drawing A7.3: ADD note at Stair B to read, "See A7.8".
- M. Drawing A7.4: REVISE ceiling finish in room 247 to read, "CLG-1".
- N. Drawing A7.6: REVISE per SKA-4.
- O. Drawing A7.8: REVISE per SKA-5.
- P. Drawing A7.11: REVISE per SKA-6.
- Q. Drawing A7.12: REVISE per SKA-7.
- R. Drawing A9.1: REVISE this sheet in its entirety.
- S. Drawing A9.2: REVISE this sheet in its entirety.
- T. Drawing A9.3: REVISE this sheet in its entirety.
- U. Drawing A9.4: REVISE this sheet in its entirety.
- V. Drawing A9.5: REVISE this sheet in its entirety.
- W. Drawing A9.6: REVISE this sheet in its entirety.
- X. Drawing A9.7: REVISE this sheet in its entirety.
- Y. Drawing A9.8: REVISE this sheet in its entirety.
- Z. Drawing A9.9: REVISE this sheet in its entirety.
- AA.MEP Drawing Set: REPLACE all MEP drawings in their entirety with set dated February 8, 2013.

1.5 CHANGES TO THE DETAIL REFERENCE MANUAL

- A. Index-1 – REPLACE this page in its entirety.
- B. N-2 – REPLACE this page in its entirety.
- C. N-3 – REPLACE this page in its entirety.
- D. L-2 – REPLACE this page in its entirety.
- E. L-3 – REPLACE this page in its entirety.
- F. L-4 – REPLACE this page in its entirety.
- G. L-5 – REPLACE this page in its entirety.
- H. CDT-33 – REPLACE this page in its entirety.

- I. CDT-40 – REPLACE this page in its entirety.
- J. CDT-42 – REPLACE this page in its entirety.
- K. CDT-49 – REPLACE this page in its entirety.
- L. CDT-50 – REPLACE this page in its entirety.
- M. FD-8 – REPLACE this page in its entirety.
- N. KTF-0 – REPLACE this page in its entirety.
- O. RD-1 – REPLACE this page in its entirety.
- P. RD-2 – REPLACE this page in its entirety.
- Q. RD-3 - ADD this page in its entirety.
- R. RD-4 – ADD this page in its entirety.
- S. RD-5 – ADD this page in its entirety.
- T. RD-6 – ADD this page in its entirety.
- U. RD-7 – ADD this page in its entirety.

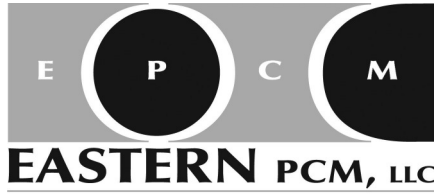
1.6 ATTACHMENTS

- A. X2.3 – Roof Plan - Composite - Demolition (revised 2/22/13)
- B. SKA-1 – Partial Large Scale Second Floor Demolition Plan - Section A
- C. X2.8 – Large Scale Roof Demolition Plan - Section A (revised 2/22/13)
- D. SKA-2 – Partial Large Scale Roof Demolition Plan - Section B
- E. A2.3 – Roof Plan - Composite - New (revised 2/22/13)
- F. A2.8 – Large Scale New Roof Plan - Section A (revised 2/22/13)
- G. SKA-3 – Partial Large Scale New Roof Plan - Section B
- H. SKA-4 – Partial Large Scale First Floor Paint Plan - Section A
- I. SKA-5 – Partial Large Scale Second Floor Paint Plan - Section A
- J. SKA-6 – Partial Large Scale First Floor Pattern Plan - Section B
- K. SKA-7 – Partial Large Scale Second Floor Pattern Plan - Section A
- L. A9.1 – First Floor Reflected Ceiling Plan - Composite New (revised 2/22/13)

- M. A9.2 – Second Floor Reflected Ceiling Plan - Composite (revised 2/22/13)
- N. A9.3 – Large Scale First Floor Reflected Ceiling Plan - Section A (revised 2/22/13)
- O. A9.4 – Large Scale First Floor Reflected Ceiling Plan - Section B (revised 2/22/13)
- P. A9.5 – Large Scale Second Floor Reflected Ceiling Plan - Section A (revised 2/22/13)
- Q. A9.6 – Large Scale Second Floor Reflected Ceiling Plan - Section B (revised 2/22/13)
- R. A9.7 – Large Scale Reflected Ceiling Plans (revised 2/22/13)
- S. A9.8 – Large Scale First Floor Reflected Ceiling Plan - Board Room-103 (revised 2/22/13)
- T. A9.9 – Large Scale Second Floor Reflected Ceiling Plan - Conference Room-257 (revised 2/22/13)
- U. Index-1 – Detail Reference Manual Index (revised 2/22/13)
- V. N-2 – Demolition Keynotes (revised 2/22/13)
- W. N-3 – Demolition Keynotes (revised 2/22/13)
- X. L-2 – New Construction Keynotes (revised 2/22/13)
- Y. L-3 – New Construction Keynotes (revised 2/22/13)
- Z. L-4 – Finishes Legend (revised 2/22/13)
- AA. L-5 – Ceiling Legend (revised 2/22/13)
- BB. CDT-55 – Ceiling Detail (revised 2/22/13)
- CC. CDT-40 – Ceiling Detail (revised 2/22/13)
- DD. CDT-42 – Ceiling Detail (revised 2/22/13)
- EE. CDT-49 – Ceiling Detail (revised 2/22/13)
- FF. CDT-50 – Ceiling Detail (revised 2/22/13)
- GG. FD-8 – Floor Detail (revised 2/22/13)
- HH. KTF-0 – Key to Finishes (revised 2/22/13)
- II. RD-1 – Roof Detail (revised 2/22/13)
- JJ. RD-2 – Roof Detail (revised 2/22/13)
- KK. RD-3 – Roof Detail
- LL. RD-4 – Roof Detail

- MM. RD-5– Roof Detail
- NN. RD-6 – Roof Detail
- OO. RD-7 – Roof Detail
- PP. MEP Drawing Set, revised February 8, 2013.
- QQ. Formation Thermal Conductivity Test and Data Analysis, Dated 1/11/11: for reference only.

END OF ADDENDUM



Please sign and return this page, via fax, to Eastern PCM, LLC at (717) 233-1666 indicating receipt of this Addendum.

HACC Central Administration Building
Phase 3 – Interior Fitout

Addendum # _____ has been received.

Company: _____
Print Company Name

Received By: _____
Print Name Signature

Date: _____

Please check one:

- _____ We are bidding as a prime contractor
- _____ We are not bidding
- _____ We are a sub-contractor

1.3 Schedule

| | |
|------------------------|---|
| Bid Date | Tuesday, March 12, 2013 at Penn Center - Room 223, no later than 2:00 PM. |
| Contract Award | April 3, 2013; subject to Board of Trustees Approval |
| Construction Start | April 15, 2013; subject to the execution of the contract |
| Substantial Completion | December 13, 2013 |

- 1.4 All questions are to be directed to the office of the Construction Manager in writing via fax or e-mail (attn: Justin Kovaleski): Fax (717) 233-1666, E-mail: epcm@easternpcm.com. The last day for questions is Wednesday, March 5, 2013 by 12:00 PM.
- 1.5 Meeting minutes from the pre-bid meeting will be issued with Addendum #1. Additional addenda will be issued as required.
- 1.6 This is a Prevailing Wage Rate Project. Rates can be found in the Project Manual, Specification 00820.
- 1.7 It is the intention of the Design Team to acquire LEED Silver Certification. Any LEED documentation shall be sent to EPCM and will then be forwarded to Murray Associates Architects.
- 1.8 The General Building Permit for Phase 3 will be obtained by and paid for by the Owner. All trade specific permits (i.e. Electrical, Plumbing, etc.) are to be obtained and paid for by applicable contractors in accordance with jurisdictional requirements.
- 1.9 Project Overview

1. General

- I. The work will be performed under five (5) Prime Contracts consisting of the interior improvements to provide approximately 37,000 sf of office space on the first and second floor of Harrisburg Area Community College's Mumma Hall. The major categories of work include: selective interior demolition, construction of new administration offices and associated mechanical, electrical, plumbing, and voice/data systems to support the improvements. The work also includes the installation of geothermal wells to support a new geothermal heat pump system. The project in its entirety will pursue LEED Silver Certification.
- II. Prime Contracts
 1. General Trades
 2. Electrical
 3. Mechanical
 4. Fire Protection
 5. Testing, Adjusting and Balancing
- III. Work includes requirements for recycling, salvaging and reuse of demolition waste and existing materials and equipment as specified. Specification Section 01524 – Construction Waste Management includes specific administrative and procedural requirements for this work.

2. Alternates:

I. Alternate No. 1: Stainless steel railings in lieu of painted steel

- 1.10 Mr. Morgan noted that a temporary construction fence has been provided by the Owner. A sketch of the fence layout was provided with the agenda and is attached hereto. Any additional safety measures shall be the responsibility of each respective Contractor. Mr. Morgan noted that an additional safety fence for the well field work will need to be supplied by the Contractor.
- 1.11 Mr. Morgan noted that the adjacent building, Hall Tech, will be occupied throughout construction. All occupied areas must be left in existing condition. Mr. Morgan warned attendees of high student traffic around the construction area and advised that strict safety precautions be enforced.
- 1.12 Mr. Morgan noted that contractor parking will be established at the Pre-Construction meeting prior to the start of the project.
- 1.13 Mr. Dubbs noted long lead items to include: glass floor system, elevator car finishes, window blinds, second floor storefront system, hollow metal frames and ceramic tile. Mr. Dubbs requested that all submittals for these items be submitted as early as possible.
- 1.14 Mr. Dubbs stated that the well field alternate labeled Alternate No. 1 on plan H0.5 will be further detailed in upcoming Addenda. This Alternate will be re-labeled Alternate No. 2.
- 1.15 Mr. Dubbs stated that reseeding of the well field will be the responsibility of the contractor installing the wells. There is no site work contract for this project.
- 1.16 Mr. Morgan stated that the City of Harrisburg is where trade specific permits shall be filed.
- 1.17 Mr. Dubbs stated that the freight elevator is not in the scope of the fitout but can be utilized during construction.
- 1.18 Mr. Dubbs stated that sheets A10.1 and A10.2 show furnishings that are outside of the scope of work for Phase 3. The furnishings are shown for coordination purposes.

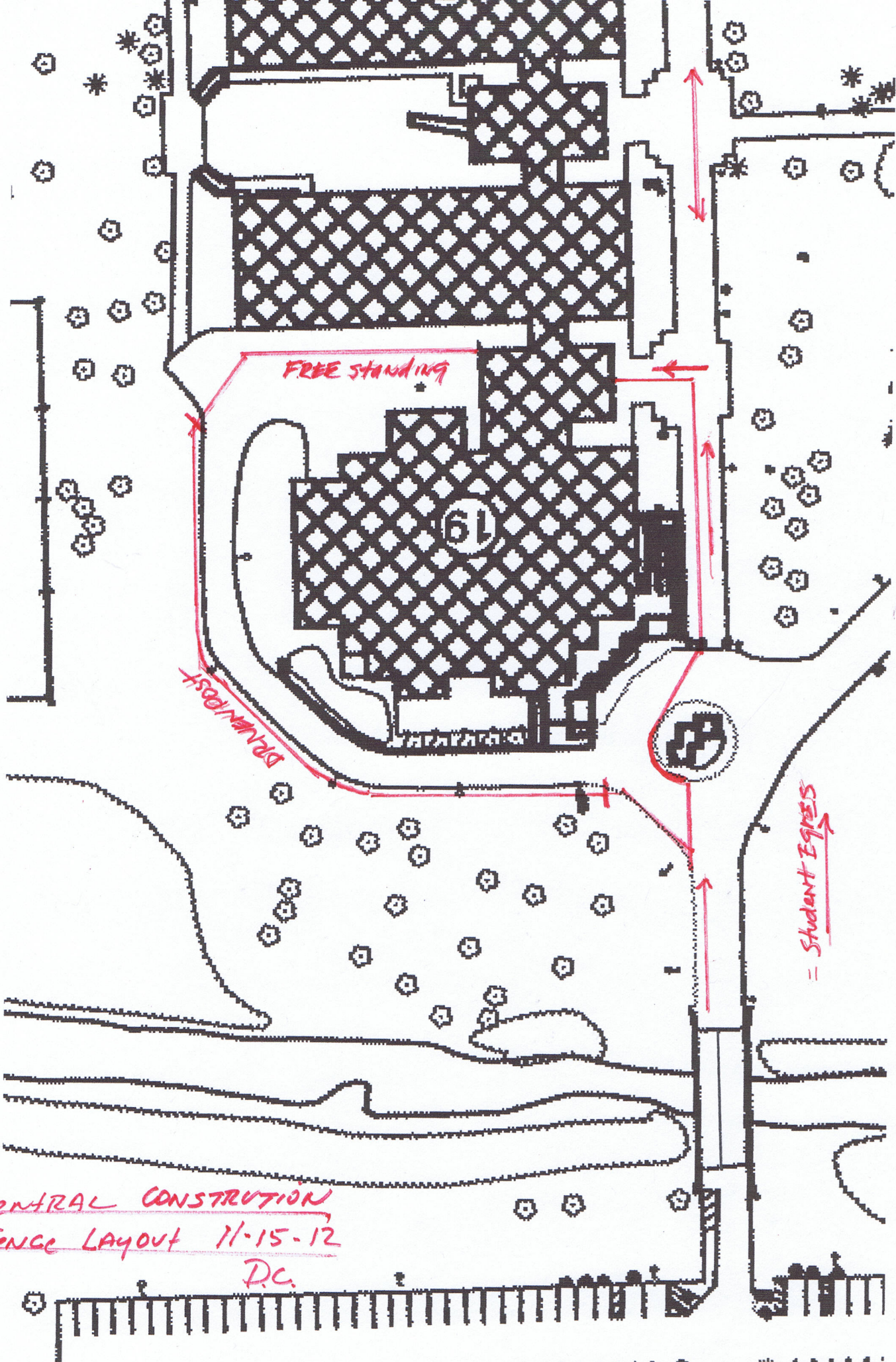
Respectfully Submitted,
Sarah E. Centini, Eastern PCM, LLC

The above summations are the interpretation of the author as to the items discussed and the decisions reached. Corrections or additions to these minutes are to be made in writing and sent to the attention of the Author no later than 5 days after receipt; otherwise, these minutes will stand as written.

cc: All Attendees

Attachment: Central Construction Fence Layout, dated 11.15.12



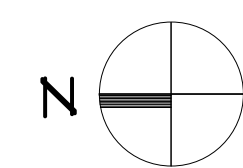
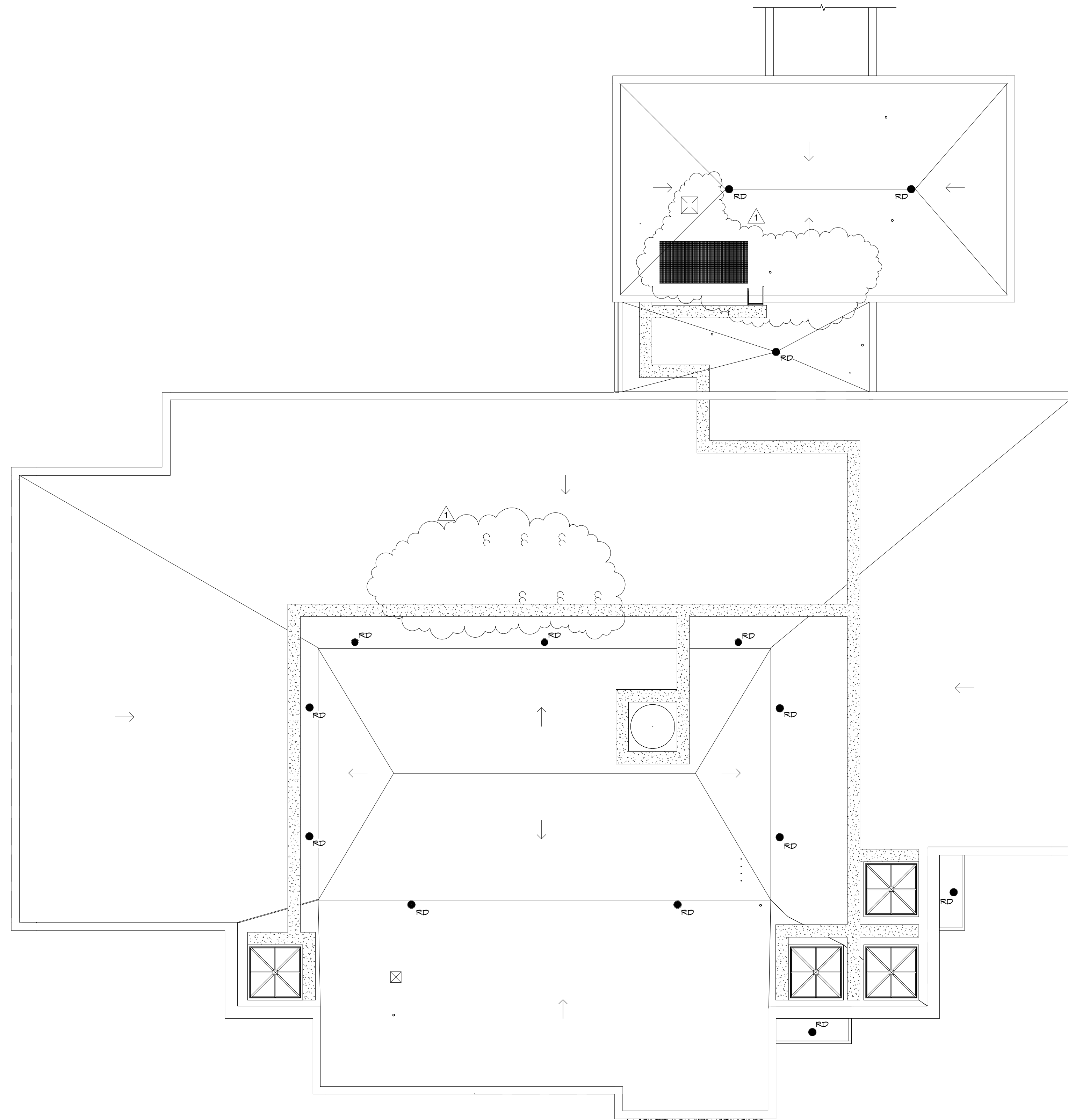


FREE STANDING

BORNPOST

Student Egges

CENTRAL CONSTRUCTION
FENCE LAYOUT 11-15-12
D.C.



ROOF PLAN - COMPOSITE - DEMOLITION

SCALE: 3/32" = 1'-0"

NOTES: SEE SHEET N-1 IN D.R.M. FOR GENERAL NOTES - DEMOLITION.

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EASTERN PGM, LLC
645 N. 12TH STREET
SUITE 200
LEMOYNE, PA 17043
717-233-3816

CONSULTANT: STRUCTURAL ENGINEER

WHITNEY, BAILEY, COX & MAGNANI, LLC

ONE STERLING PLACE
100 STERLING PARKWAY
SUITE 103
MECHANICSBURG, PA 17050
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**ROOF PLAN -
COMPOSITE -
DEMOLITION**

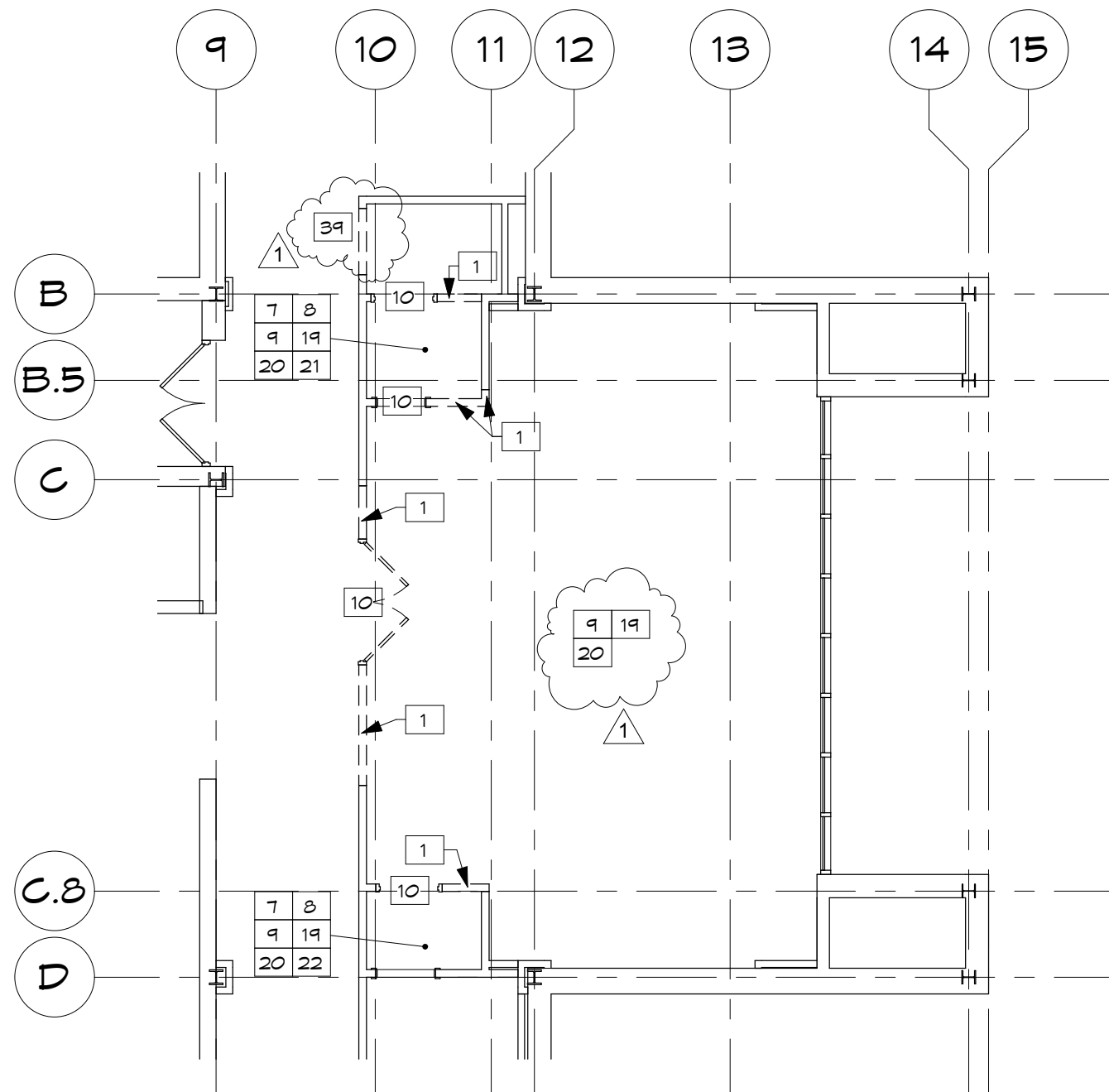
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DOCUMENTS**

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DATE:
FEBRUARY 8, 2013

PROJECT NUMBER:
3395

SHEET NUMBER:
X2.3



**PARTIAL LARGE SCALE SECOND FLOOR
DEMOLITION PLAN - SECTION A**

SCALE: 1/8" = 1'-0"

(REF. TO DWG. X2.6)

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SUITE 200
LEMOYNE, PA 17043
717-233-3016

CONSULTANT: STRUCTURAL ENGINEER

WHITNEY, BAILEY, COX & MAGNANI, LLC
ONE STERLING PLACE
100 STERLING PARKWAY
SUITE 108
MECHANICSBURG, PA 17050
717-691-4708



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**PARTIAL LARGE SCALE
SECOND FLOOR
DEMOLITION PLAN -
SECTION A**

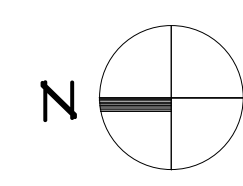
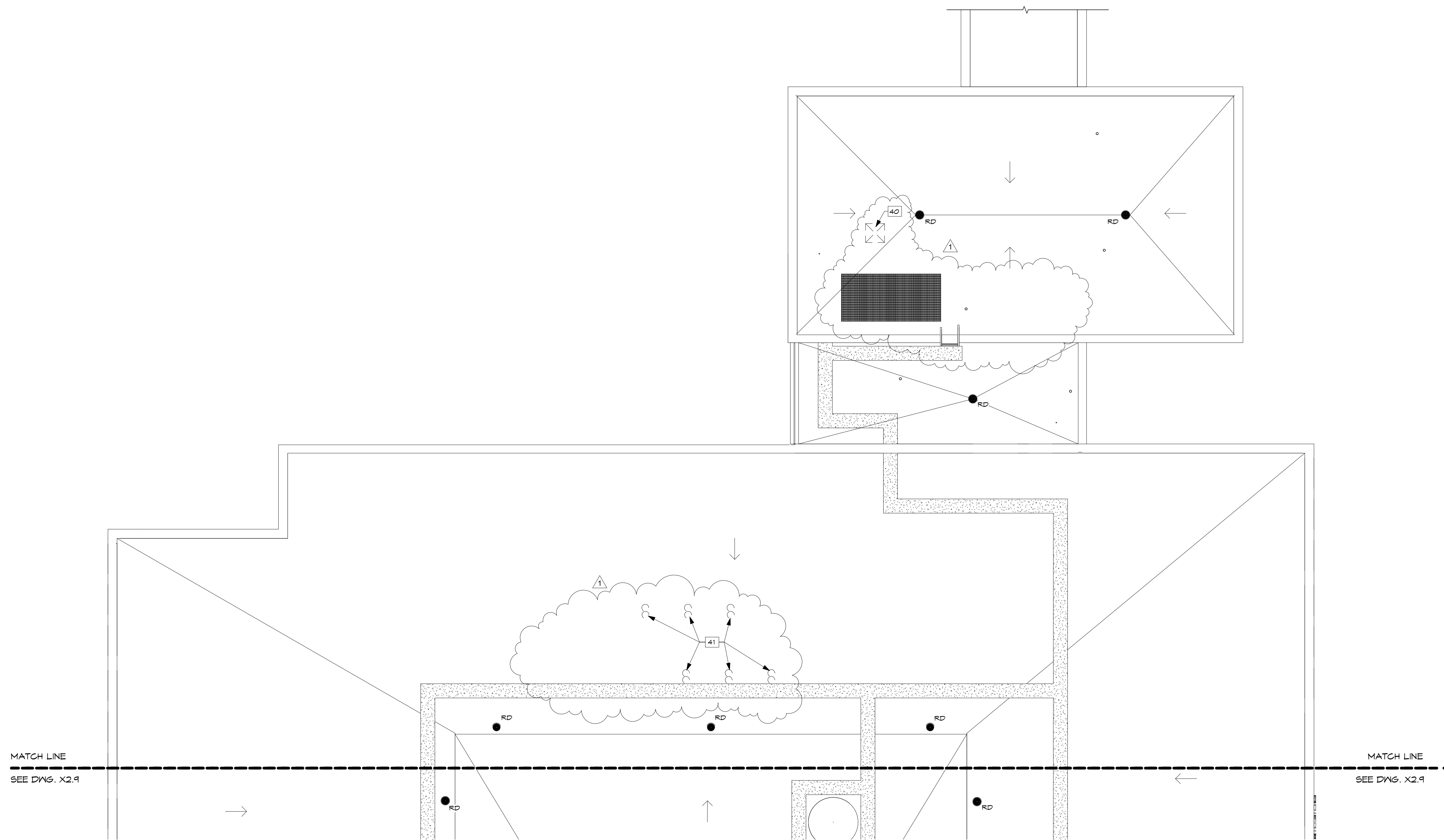
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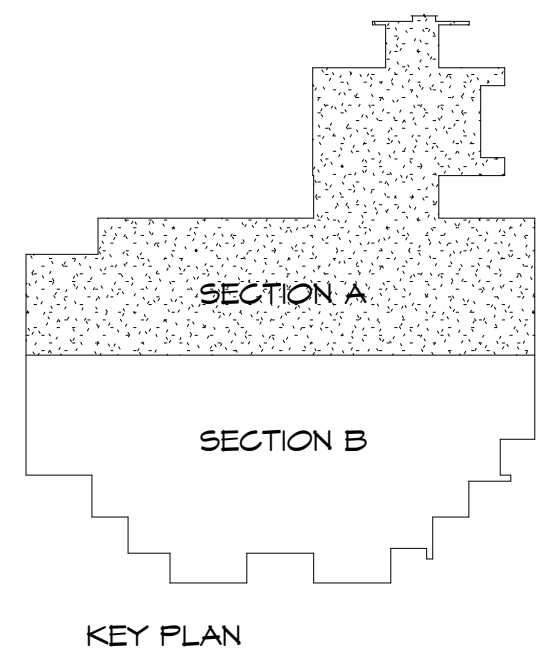
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SKA-1
PHASE 3



LARGE SCALE ROOF DEMOLITION PLAN - SECTION A

SCALE: 1/8" = 1'-0"

NOTES: SEE SHEETS N-1 THRU N-3 IN D.R.M. FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.



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 SUITE 200
 LEMOYNE, PA 17043
 717-233-3616

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 103
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**LARGE SCALE ROOF
 DEMOLITION PLAN -
 SECTION A**

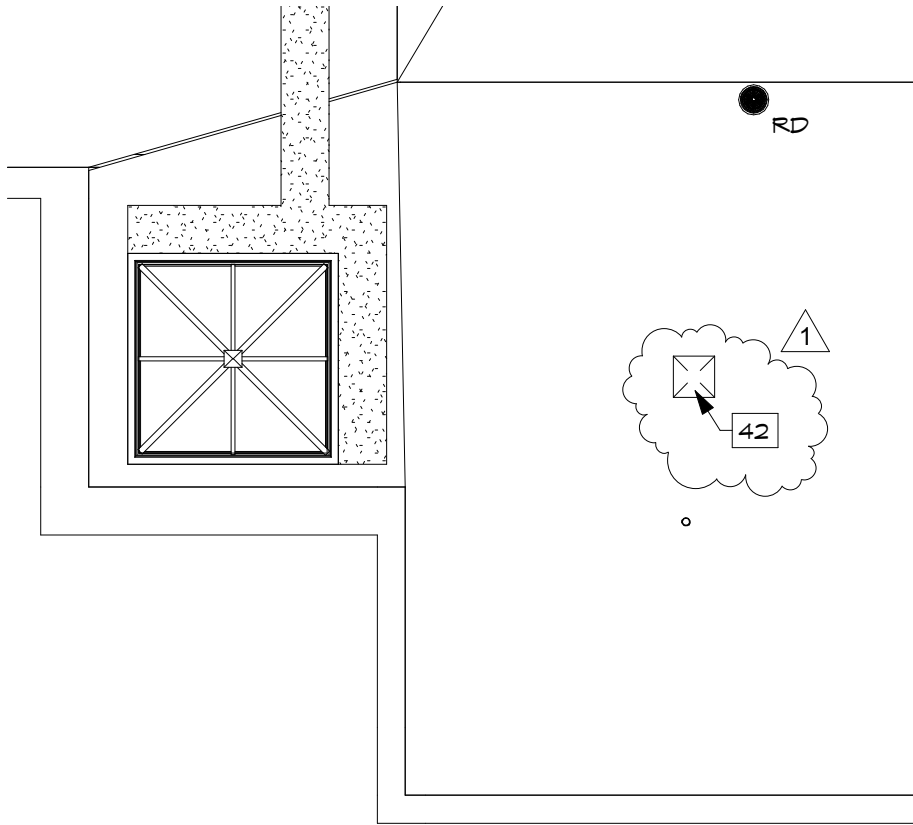
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PROJECT NUMBER:
3395

SHEET NUMBER:
X2.8



PARTIAL LARGE SCALE ROOF DEMOLITION PLAN - SECTION B

SCALE: 1/8" = 1'-0"

(REF. TO DWG. X2.9)

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CONSULTANT: STRUCTURAL ENGINEER

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 ONE STERLING PLACE
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**PARTIAL LARGE SCALE
 ROOF DEMOLITION PLAN -
 SECTION B**

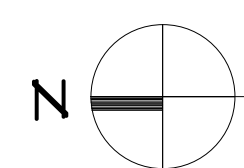
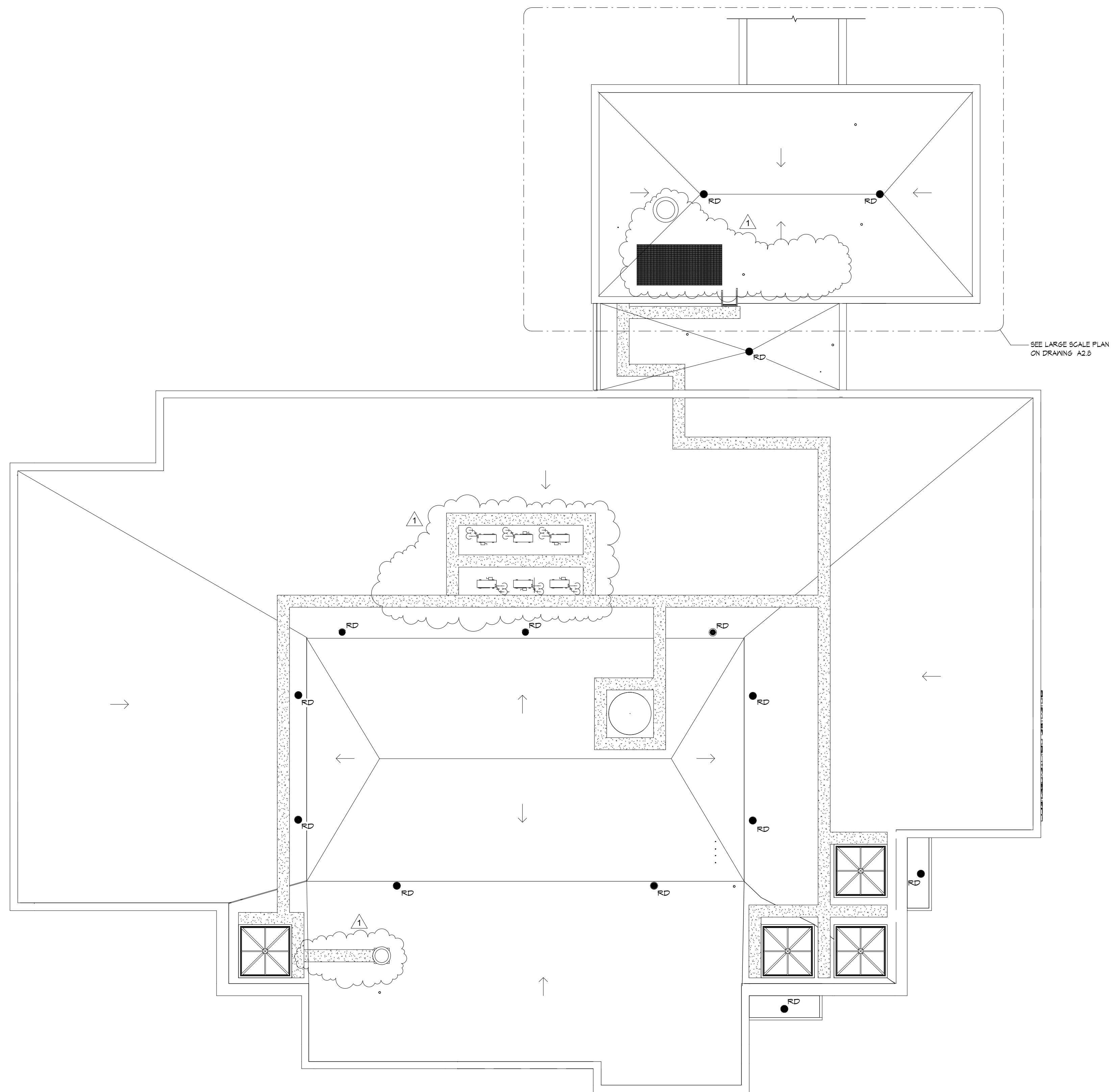
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DRAWING NUMBER:
SKA-2
 PHASE 3



ROOF PLAN - COMPOSITE - NEW

SCALE: 3/32" = 1'-0"

NOTES: SEE SHEETS N-4 IN D.R.M. FOR GENERAL NOTES - NEW CONSTRUCTION

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 SUITE 200
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 717-233-3816

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 103
 MECHANICSBURG, PA 17050
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**ROOF PLAN -
 COMPOSITE - NEW**

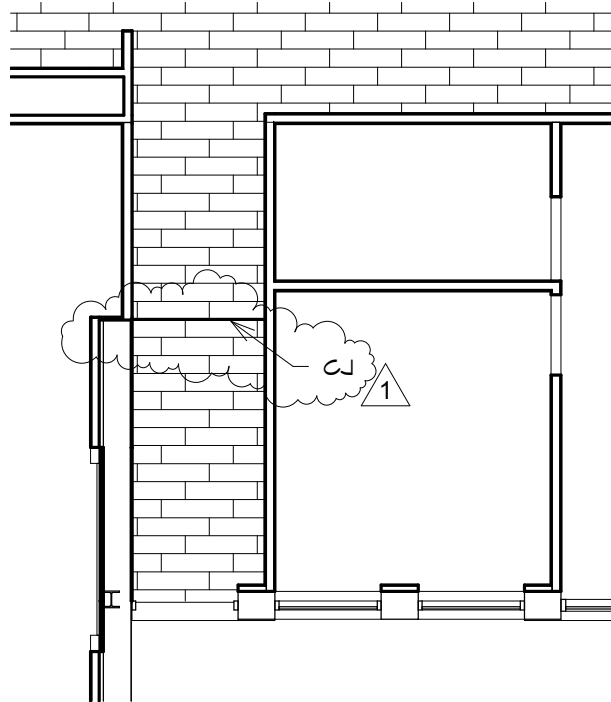
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DATE:
 FEBRUARY 8, 2013

PROJECT NUMBER:
3395

SHEET NUMBER:
A2.3



**PARTIAL LARGE SCALE FIRST
FLOOR PATTERN PLAN - SECTION B**

SCALE: 1/8" = 1'-0"

(REF. TO DWG. A7.11)

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**PARTIAL LARGE SCALE
FIRST FLOOR PATTERN
PLAN - SECTION B**

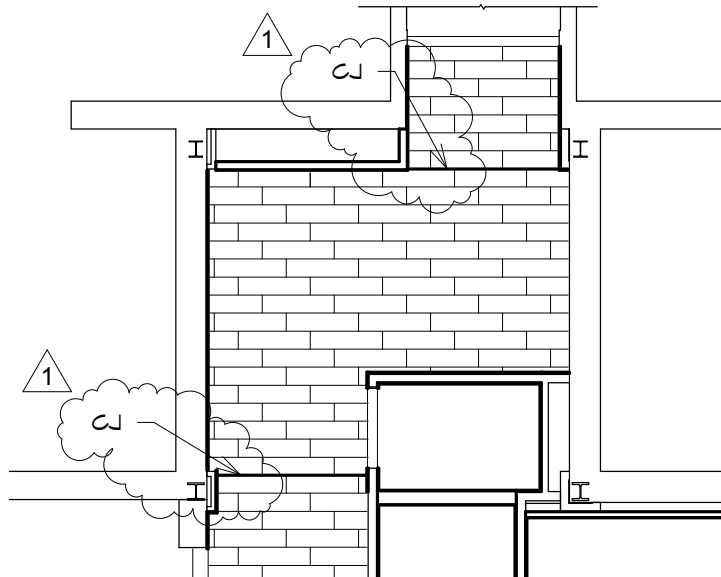
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DATE:
FEBRUARY 8, 2013

PROJECT NUMBER:
3395

DRAWING NUMBER:
SKA-6
PHASE 3



PARTIAL LARGE SCALE SECOND FLOOR PATTERN PLAN - SECTION A

SCALE: 1/8" = 1'-0"

(REF. TO DWG. A7.12)

| Revisions | | |
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| No. | Date | Description |
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 SUITE 200
 LEMOYNE, PA 17043
 717-233-3016

CONSULTANT: STRUCTURAL ENGINEER

WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 108
 MECHANICSBURG, PA 17050
 717-691-4708



**ALTERATIONS TO HACC
 TED LICK ADMINISTRATION
 BUILDING**

HARRISBURG, PA

**PARTIAL LARGE SCALE
 SECOND FLOOR PATTERN
 PLAN - SECTION A**

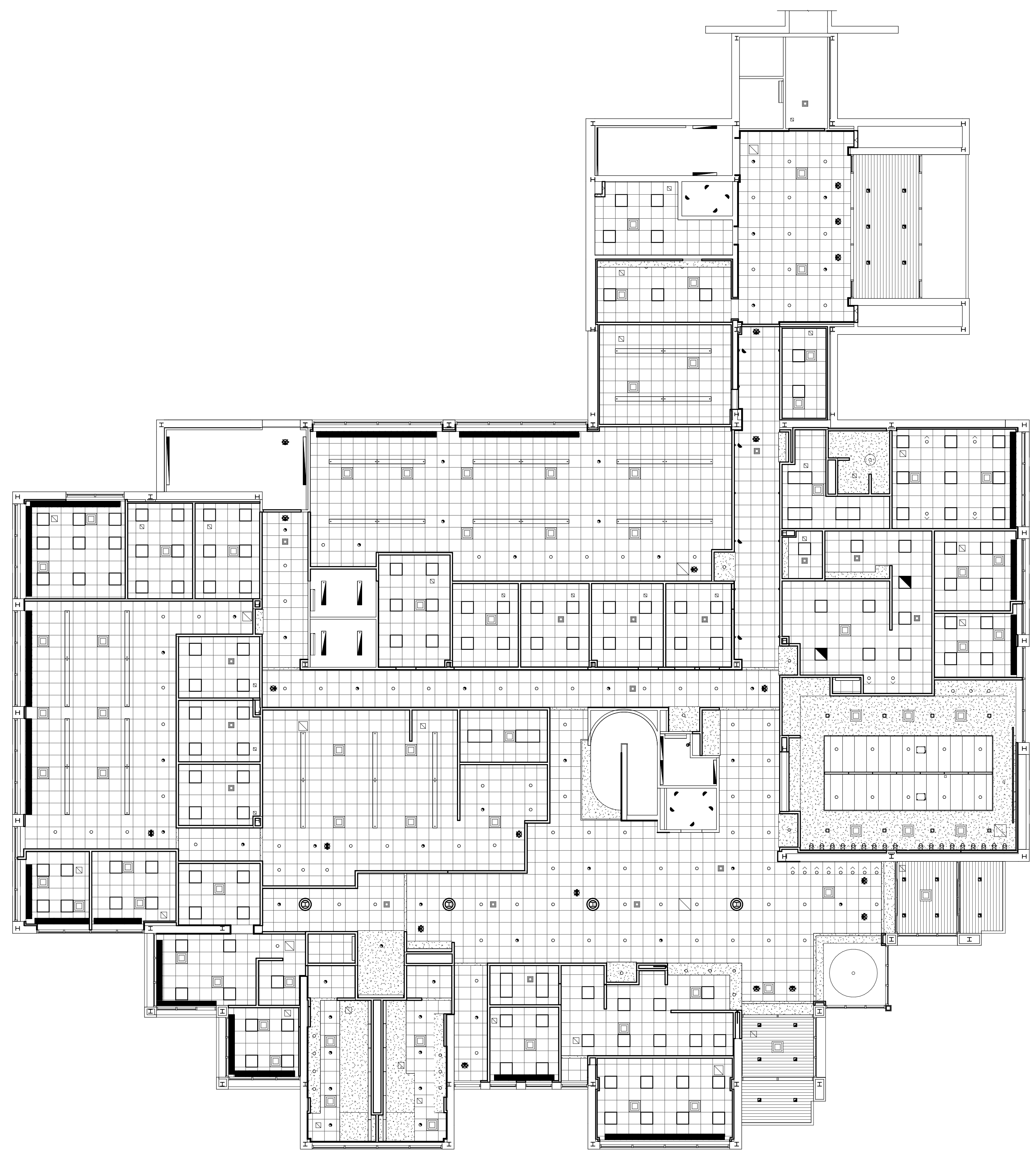
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DATE:
FEBRUARY 8, 2013

PROJECT NUMBER:
3395

DRAWING NUMBER:
SKA-7
 PHASE 3




FIRST FLOOR REFLECTED CEILING PLAN - COMPOSITE - NEW
 SCALE: 3/32" = 1'-0"

| revisions | | |
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 645 N. 12TH STREET
 SUITE 200
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 717-233-3816

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 103
 MECHANICSBURG, PA 17050
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**FIRST FLOOR
 REFLECTED CEILING
 PLAN - COMPOSITE**

CONSTRUCTION DOCUMENTS

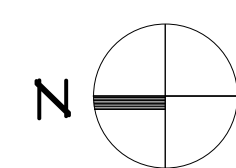
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DATE: **FEBRUARY 8, 2013**

PROJECT NUMBER: **3395**

SHEET NUMBER: **A9.1**

PHASE 3



SECOND FLOOR REFLECTED CEILING PLAN - COMPOSITE
 SCALE: 3/32" = 1'-0"

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 SUITE 200
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 717-233-3616

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 103
 MECHANICSBURG, PA 17050
 717-691-4708



**ALTERATIONS TO HACC
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**SECOND FLOOR
 REFLECTED CEILING
 PLAN - COMPOSITE**

**CONSTRUCTION
 DOCUMENTS**

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DATE:
 FEBRUARY 8, 2013

PROJECT NUMBER:
3395

SHEET NUMBER:
A9.2

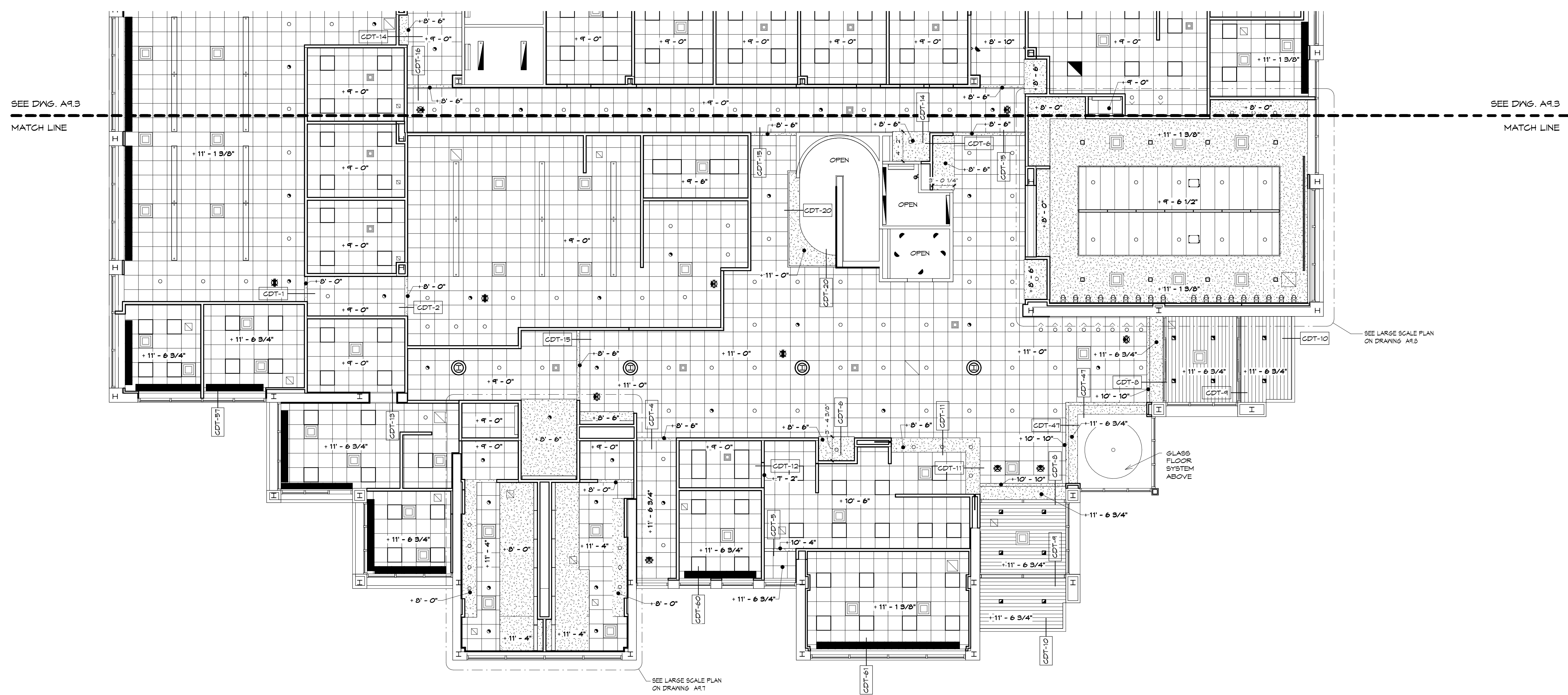
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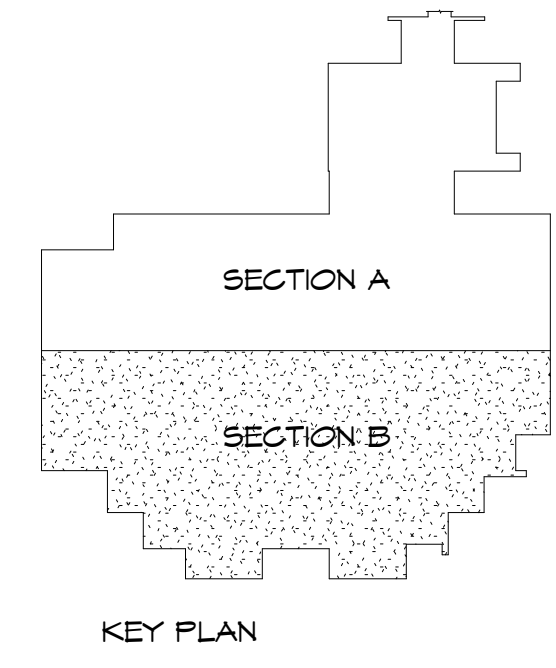
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 645 N. 12TH STREET
 SUITE 200
 LEMOYNE, PA 17043
 717-233-3616

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 102
 MECHANICSBURG, PA 17050
 717-691-4708



LARGE SCALE FIRST FLOOR REFLECTED CEILING PLAN - SECTION B
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET L-1 AND L-5 IN D.R.M. FOR LEGEND AND CEILING LEGEND.



**ALTERATIONS TO HACC
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HARRISBURG, PA

**LARGE SCALE FIRST
 FLOOR CEILING PLAN -
 SECTION B**

**CONSTRUCTION
 DOCUMENTS**

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PROJECT NUMBER:
3395

SHEET NUMBER:
A9.4



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 645 N. 12TH STREET
 SUITE 200
 LEMOYNE, PA 17043
 717-233-3616

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 103
 MECHANICSBURG, PA 17050
 717-691-4703

MURRAY ASSOCIATES ARCHITECTS, P.C.
 1600 North Second Street
 Harrisburg, PA 17102
 717.234.2581 (voice)
 717.234.1201 (data)

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HARRISBURG, PA

**LARGE SCALE SECOND
 FL. CLG. PLAN - SECT.
 A & PENTHOUSE**

**CONSTRUCTION
 DOCUMENTS**

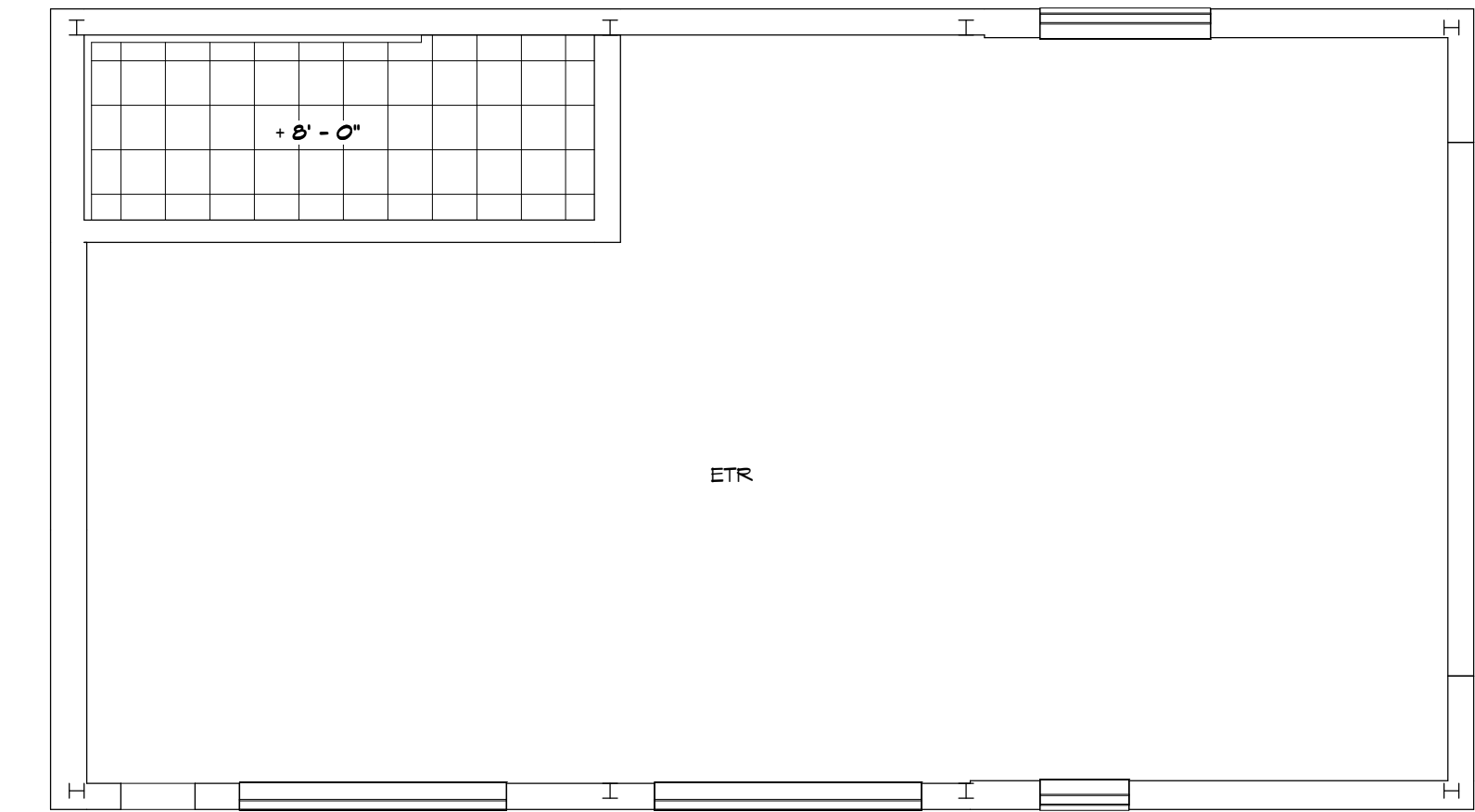
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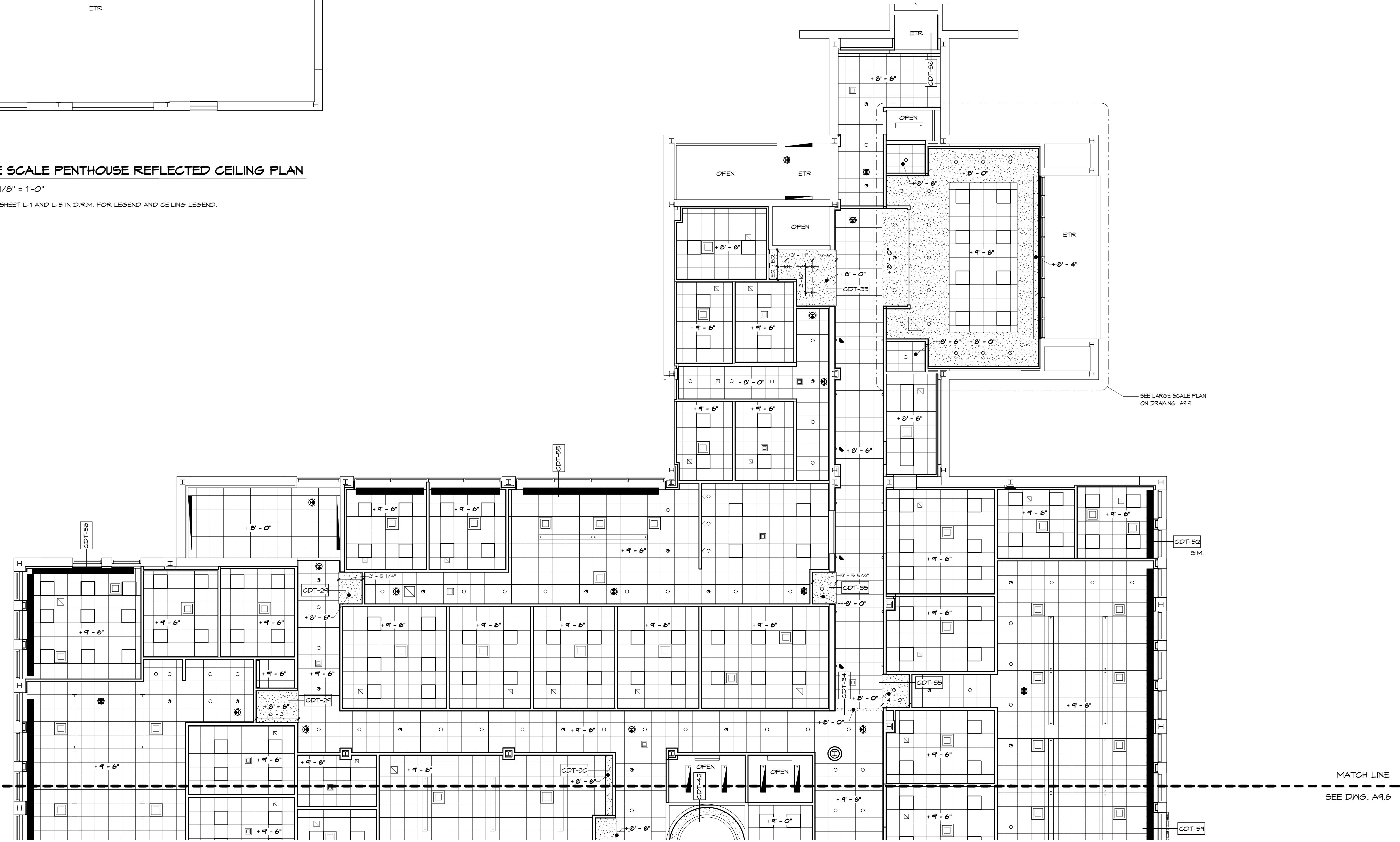
PROJECT NUMBER:
3395

SHEET NUMBER:
A9.5

PHASE 3



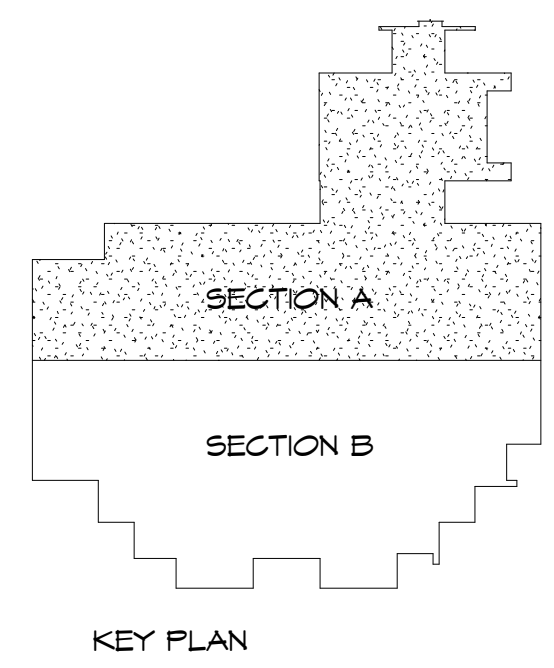
LARGE SCALE PENTHOUSE REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET L-1 AND L-5 IN D.R.M. FOR LEGEND AND CEILING LEGEND.



MATCH LINE
 SEE DWG. A9.6

MATCH LINE
 SEE DWG. A9.6

LARGE SCALE SECOND FLOOR REFLECTED CEILING PLAN - SECTION A
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET L-1 AND L-5 IN D.R.M. FOR LEGEND AND CEILING LEGEND.



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 SUITE 200
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 717-233-3616

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 102
 MECHANICSBURG, PA 17050
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ALTERATIONS TO HACC
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LARGE SCALE SECOND
 FLOOR CEILING PLAN -
 SECTION B

CONSTRUCTION
 DOCUMENTS

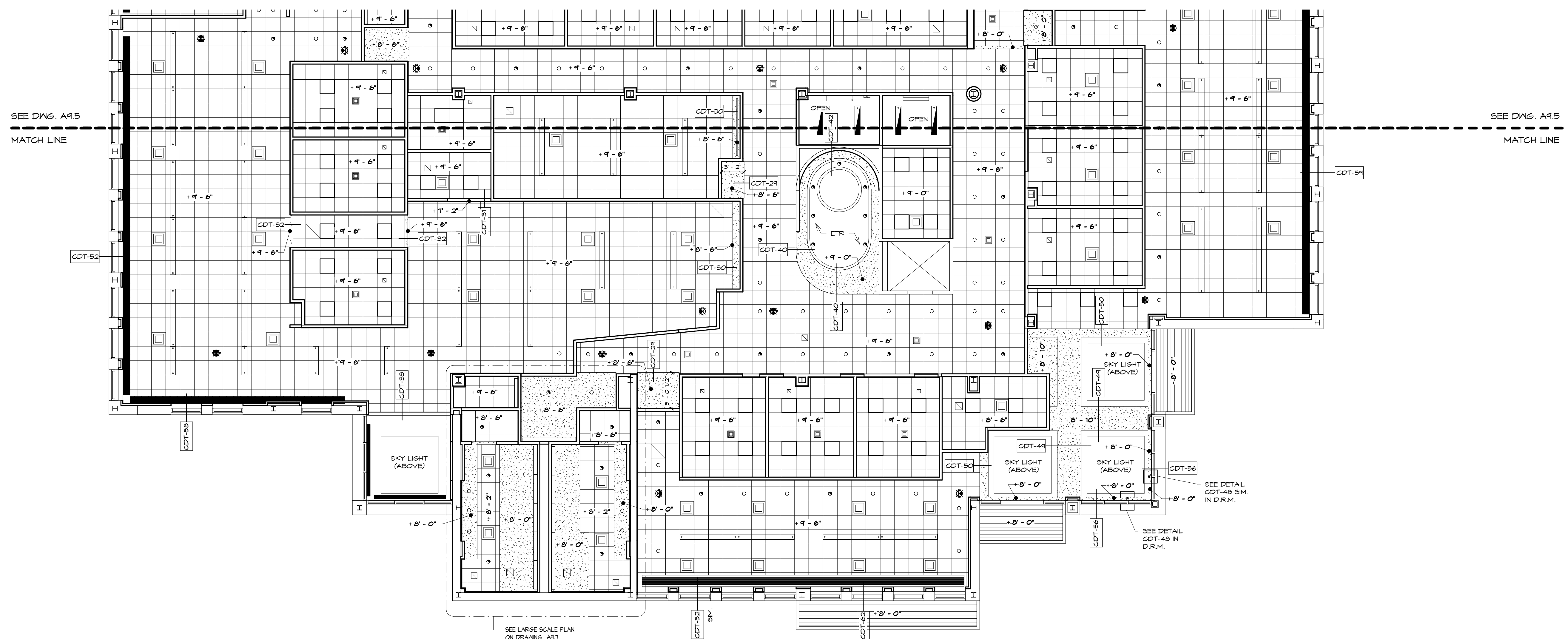
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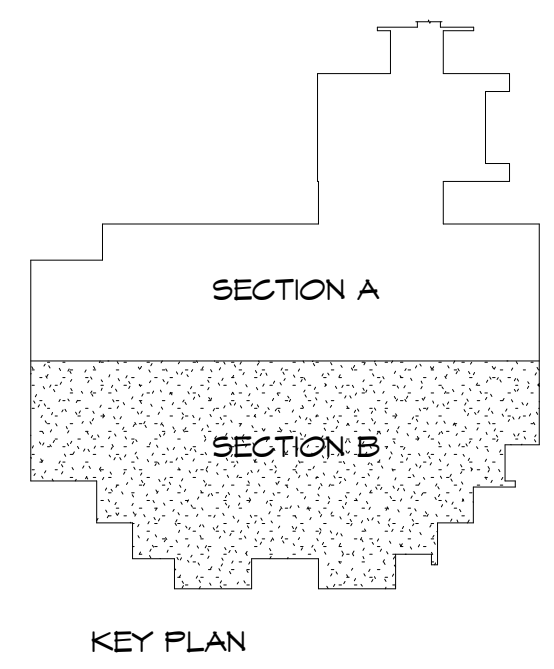
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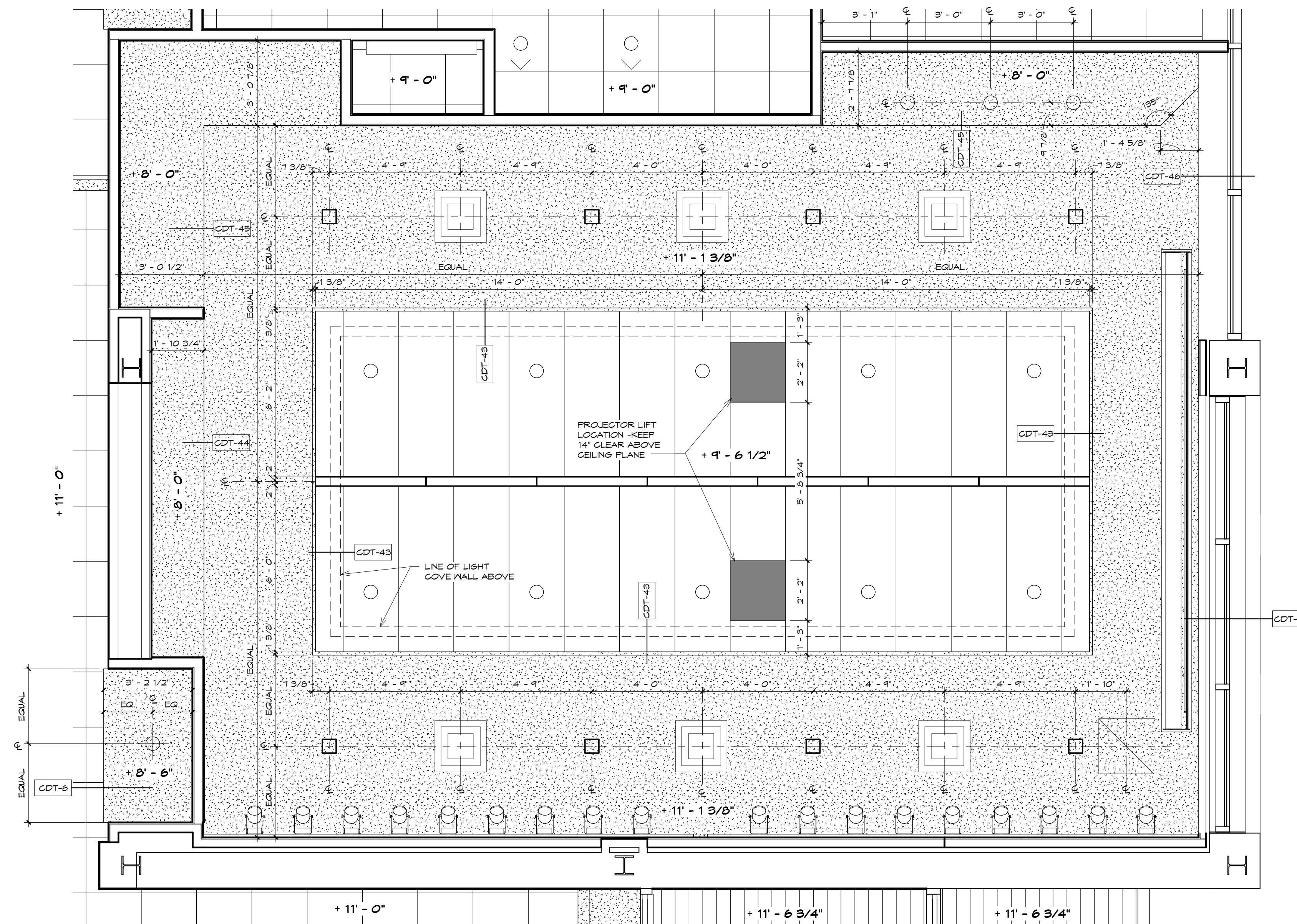
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A9.6

PHASE 3



LARGE SCALE SECOND FLOOR REFLECTED CEILING PLAN - SECTION B
 SCALE: 1/8" = 1'-0"
 NOTE: SEE SHEET L-1 AND L-5 IN D.R.M. FOR LEGEND AND CEILING LEGEND.





LARGE SCALE FIRST FLOOR REFLECTED CEILING PLAN - BOARD ROOM-103

SCALE: 3/8" = 1'-0"
 NOTE: SEE SHEET L-1 AND L-5 IN D.R.M. FOR LEGEND AND CEILING LEGEND.

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 SUITE 200
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 717-233-3816

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 102
 MECHANICSBURG, PA 17050
 717-691-4708



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HARRISBURG, PA

**LARGE SCALE FIRST FL.
 REFLECTED CEILING
 PLAN - BOARD RM.-103**

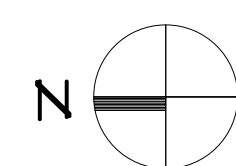
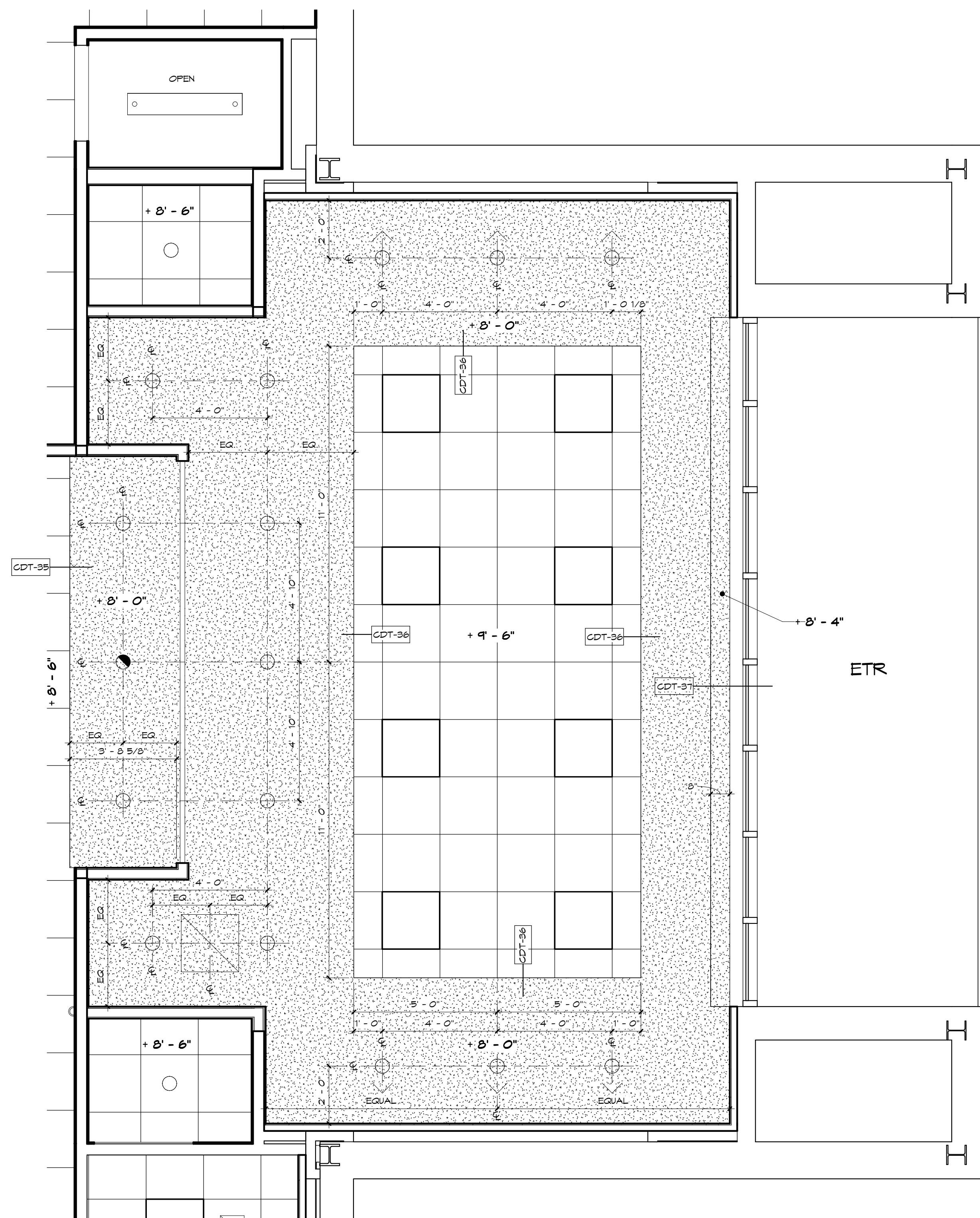
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DATE:
 FEBRUARY 8, 2013

PROJECT NUMBER:
3395

SHEET NUMBER:
A9.8



LARGE SCALE SECOND FLOOR REFLECTED CEILING PLAN - CONFERENCE ROOM-251

SCALE: 3/8" = 1'-0"
 NOTE: SEE SHEET L-1 AND L-5 IN D.R.M. FOR LEGEND AND CEILING LEGEND.

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 645 N. 12TH STREET
 SUITE 200
 LEMOYNE, PA 17043
 717-233-3616

CONSULTANT: STRUCTURAL ENGINEER
 WHITNEY, BAILEY, COX & MAGNANI, LLC
 ONE STERLING PLACE
 100 STERLING PARKWAY
 SUITE 102
 MECHANICSBURG, PA 17050
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LARGE SCALE SECOND
 FL. REFLECTED CEILING
 PLAN - CONF. RM.-251

CONSTRUCTION
 DOCUMENTS

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DATE:
 FEBRUARY 8, 2013

PROJECT NUMBER:
3395

SHEET NUMBER:
A9.9

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LEGENDS: L-0 THRU L-5

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CEILING DETAILS: CDT-0 THRU CDT-62

DOOR SCHEDULE: DS-0 THRU DS-4

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KEY TO FINISHES: KTF-0 THRU KTF-3

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STAIR DETAILS: STD-0 THRU STD-18

ELEVATOR DETAILS: EL-0 THRU EL-4

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| DEMOLITION KEYNOTES | |
|---------------------|---|
| NUMBER | DESCRIPTION |
| 1 | REMOVE EXISTING PARTITION IN ITS ENTIRETY. |
| 2 | REMOVE EXISTING DOOR, FRAME AND HARDWARE. |
| 3 | REMOVE PROTION OF EXISTING WALL TO UNDERSIDE OF DECK OR SLAB FOR NEW DOOR OPENING OR OPENING. |
| 4 | REMOVE EXISTING LINEAR METAL CEILING. |
| 5 | REMOVE EXISTING ALUMINUM DOOR, FRAME AND HARDWARE. STORE FOR RE-INSTALLATION. |
| 6 | REMOVE EXISTING ALUMINUM SLIDING DOOR, FRAME AND HARDWARE. STORE FOR RE-INSTALLATION; REFER TO ELECTRICAL DRAWINGS FOR CONNECTIONS. |
| 7 | REMOVE EXISTING FLOORING. |
| 8 | REMOVE EXISTING CEILING SYSTEM. |
| 9 | REMOVE EXISITNG BASE. |
| 10 | REMOVE EXISTING FRAME. |
| 11 | REMOVE EXISING BRICK. |
| 12 | REMOVE EXISTING ALUMINUM SYSTEM, DOOR, FRAME, HARDWARE AND THRESHOLD. |
| 13 | REMOVE EXISTING PARTITION ABOVE DOOR IN ITS ENTIRETY. |
| 14 | REMOVE EXISTING DOOR. |
| 15 | REMOVE EXISTING STEEL COLUMN, STEEL BEAM AND DRYWALL ENCLOSURE. |
| 16 | REMOVE EXISTING ILLUMINATED RAILING AND BRACKETS; SEE ELECTRICAL DRAWINGS. |
| 17 | REMOVE EXISTING CONCRETE SLAB. |
| 18 | REMOVE EXISTING FLAGPOLE AND FLASHING COLLAR. |
| 19 | REMOVE EXISTING WOOD PANELING. |
| 20 | REMOVE EXISTING WOOD MOLDING. |
| 21 | REMOVE EXISTING COATRACK. |
| 22 | REMOVE EXISTING CASEWORK. |
| 23 | NOT USED. |
| 24 | REMOVE EXISTING RAILING. |
| 25 | REMOVE EXISTING CONCRETE BENCHES. |
| 26 | REMOVE EXISTING FLAGPOLE LIGHTS; REFER TO ELECTRICAL DRAWINGS. |
| 27 | REMOVE EXISTING BOX HYDRENT; SEE PLUMBING DRAWINGS. |
| 28 | REMOVE EXISTING FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. TURN OVER TO OWNER. |
| 29 | REMOVE EXISTING HARDWOOD TRIM. |

1 →

| DEMOLITION KEYNOTES | |
|---------------------|--|
| NUMBER | DESCRIPTION |
| 30 | REMOVE EXISTING HARDWOOD STRIP PANELING. |
| 31 | REMOVE EXISTING WOOD PANELING. |
| 32 | REMOVE EXISTING RAILING AND BRACKETS. |
| 33 | REMOVE EXISTING GLASS SMOKE CURTAIN. STORE FOR LATER RE-INSTALLATION. |
| 34 | REMOVE EXISTING WOOD PANELING FROM FACE OF GYPSUM BOARD SOFFIT. |
| 35 | REMOVE EXISTING GYPSUM BOARD SOFFIT. |
| 36 | REMOVE ONE LAYER OF PLYWOOD FROM EXISTING 2 LAYERS ON RADIUS WALL AROUND STAIR. |
| 37 | FOR ALL SAW CUTTING OF SLABS FOR NEW ELECTRICAL /PLUMBING/DATA LINES REFER TO ELECTRICAL, PLUMBING AND POWER DRAWINGS. |
| 38 | REMOVE EXISTING SLAB AS REQUIRED FOR NEW SHOWER. SEE MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR ADDITIONAL SAW CUTTING AND FLOOR PENETRATIONS. |
| ① → 39 | REMOVE PORTION OF EXISTING WALL FOR NEW DOOR OPENING. |
| ① → 40 | REMOVE PORTION OF EXISTING METAL DECK, SUBSTRATE BOARD, INSULATION , COVER BOARD AND MEMBRANE ROOFING FOR INSTALLATION OF NEW MECHANICAL UNIT. |
| ① → 41 | REMOVE PORTION OF EXISTING METAL DECK, SUBSTRATE BOARD, INSULATION , COVER BOARD AND MEMBRANE ROOFING FOR INSTALLATION OF NEW REFREGERANT LINES. |
| ① → 42 | REMOVE PORTION OF EXISTING TEMPORARY SEALED MECHANICAL CURB FOR NEW MECHANICAL UNIT. |

| NEW CONSTRUCTION KEYNOTES | |
|---------------------------|---|
| NUMBER | DESCRIPTION |
| 1 | WALL HUNG WATER CLOSET MOUNTED RIM HT. 1'-3" A.F.F., WITH FLUSH VALVE |
| 2 | WALL HUNG WATER CLOSET (ACCESSIBLE) RIM HT. 1'-6" A.F.F., WITH FLUSH VALVE |
| 3 | WALL HUNG URINAL MOUNTED RIM HT. 1'-8" A.F.F. |
| 4 | WALL HUNG URINAL (ACCESSIBLE RIM HT. 1'-5" A.F.F.) |
| 5 | PHENOLIC TOILET PARTITION - CEILING HUNG (SEE DETAIL CDT-X) |
| 6 | URINAL PRIVACY SCREEN - WALL MOUNTED (PHENOLIC PARTITION 18" DEEP) |
| 7 | DOUBLE ROLL TOILET PAPER DISPENSER - TOP MOUNTED 2'-6" A.F.F. |
| 8 | SANITARY NAPKIN DISPOSAL - MOUNT OPENING 2'-1" A.F.F. BY OWNER, INSTALLED BY CONTRACTOR. |
| 9 | INSULATE ALL EXPOSED PIPING BELOW LAVATORY |
| 10 | 18" VERTICAL GRAB BAR 1 1/4" DIA. MOUNTED 39" A.F.F. |
| 11 | 36" GRAB BAR 1 1/4" DIA. MOUNTED 36" A.F.F. TO THE TOP |
| 12 | 42" GRAB BAR 1 1/4" DIA. MOUNTED 36" A.F.F. TO THE TOP |
| 13 | SEMI-RECESSED WASTE RECEPTICLE. MOUNT AS PER ELEVATIONS, BY OWNER, INSTALLED BY CONTRACTOR. |
| 14 | WALL MOUNTED DOOR STOP; PROVIDE BLOCKING & CENTER STOP ON WALL TILE |
| 15 | PURSE/BAG HOOK. MOUNT CENTERED BETWEEN LAVATORIES TO UNDERSIDE OF COUNTER TOP ON APRON |
| 16 | 3'-0" WIDE X 3'-6" HIGH FRAMED MIRROR - MOUNTED 3'-4" A.F.F. TO BOTTOM OF GLASS |
| 17 | FULL HEIGHT MIRROR 3'-0" WIDE X 5'-0" HIGH FRAMED MIRROR. MOUNT ALIGNED WITH TOILET PARTITION HEIGHTS |
| 18 | DYSON ELECTRIC HAND DRYER. MOUNT 3'-6" A.F.F. AT HAND PLACEMENT |
| 19 | DYSON ELECTRIC HAND DRYER (ACCESSIBLE). MOUNT 2'-10" A.F.F. AT HAND PLACEMENT |
| 20 | RECESSED MODULAR LOCKING HOSE BIBB ASSEMBLY - SEE PLUMBING DRAWINGS |
| 21 | NOT USED |
| 22 | FOLDING SHELF - T.O. SHELF MOUNTED 32" A.F.F. |
| 23 | 2" X 2" X 1/4" GALVANIZED STEEL TUBE MOUNTED INSIDE WALL. |
| 24 | 3'-0" WIDE X 4'-0" HEIGHT FRAMED MIRROR. MOUNT BOTTOM OF GLASS NO HIGHER THAN 3'-4" A.F.F. |
| 25 | 1'-0" WIDE SOLID SURFACE SHELF ON 3/4" SUBRATE. MOUNT 34" A.F.F. |
| 26 | MOP/ BROOM RACK MOUNTED 5'-6" A.F.F. |
| 27 | 2'-0" WIDE X 2'-0" DEEP MOP SINK |

① →

| NEW CONSTRUCTION KEYNOTES | |
|---------------------------|---|
| NUMBER | DESCRIPTION |
| 28 | UNDER COUNTER MOUNTED LAVATORY (ACCESSIBLE 34" MAX. RIM HT. A.F.F.) |
| 30 | 2'-0" WIDE TOWEL BAR BY OWNER. |
| 31 | FOLD-UP ACCESSIBLE SHOWER SEAT MOUNTED 1'-6" A.F.F. |
| 32 | WATER RESISTANT 1 1/4" DIA. CORNER GRAB BAR MOUNTED 36" A.F.F. |
| 33 | HAND-HELD SHOWER HEAD, MOUNTED ON SLIDER BAR. MOUNT BOTTOM OF BAR 3'-2" A.F.F. MAX. |
| 34 | 36" WIDE MIN. FROSTED GLASS SHOWER DOOR. WITH THREE HINGES. SEE DOOR SCHEDULE. |
| 35 | ROBE HOOK BY OWNER. |
| 36 | 3'-6" WIDE X 3'-6" HIGH FRAMELESS MIRROR WITH STANDOFFS AND LED LIGHT STRIP MOUNTED BEHIND MIRROR. SEE MWD-39/40 & ELECTRICAL DRAWINGS. |
| 37 | WALL MOUNTED ADA COMPLIANT LAVATORY FAUCET. SEE PLUMBING DWGS. |
| 38 | MANUAL ROOM DARKENING SHADE - SEE RB-1 IN KEY TO FINISHES. |
| 39 | ELECTRICAL ROOM DARKENING SHADE - SEE RB-2 IN KEY TO FINISHES. |
| 40 | DECORATIVE 18" VERTICAL GRAB BAR MOUNTED 39" A.F.F. |
| 41 | DECORATIVE 36" GRAB BAR MOUNTED 36" A.F.F. TO THE TOP |
| 42 | DECORATIVE 42" GRAB BAR MOUNTED 36" A.F.F. TO THE TOP |
| 43 | SINGLE ROLL TOILET PAPER DISPENSER - TOP MOUNTED 19" A.F.F. TO CENTER |
| 44 | NOT USED |
| 45 | COUNTER MOUNTED ADA COMPLIANT LAVATORY FAUCET. SEE PLUMBING DRAWINGS. |
| 46 | COUNTER MOUNTED ADA COMPLIANT GOOSENECK KITCHEN FAUCET. SEE PLUMBING DWGS. |
| 47 | 18" WATER RESISTANT VERTICAL GRAB BAR 1 1/4" DIA. MOUNTED 39" A.F.F. |
| 48 | UNDERMOUNT SINGLE BOWL STAINLESS STEEL SQUARED KITCHEN SINK. 14" X 16". SEE PLUMBING DWGS. |
| 49 | NOT USED |
| 50 | NOT USED |
| 51 | NOT USED |
| 52 | REFRIGERATOR, BY CONTRACTOR. |
| 53 | PAPER TOWEL DISPENSER BY OWNER, INSTALLED BY CONTRACTOR. PROVIDE BLOCKING AS REQUIRED. |
| 54 | FRAMELESS SHOWER DOOR STOP -MOUNT AT TOP OF GLASS SHOWER DOOR |

FINISHES LEGEND

| | |
|------------------|-------|
| ROOM NUMBER | |
| CEILING | |
| WALL | |
| FLOOR | |
| BASE | |
| HORIZ. | VERT. |
| TOIL. PARTITIONS | |

ONLY APPLICABLE
IN ROOMS 110, 111,
203, 204

CONSTRUCTION NOTES:

USE P-1 ON ALL EXPOSED GYPSUM BOARD WALLS AND SOFFITS AS PRIMER COAT PRIOR TO FINAL PAINT COAT

ALL TRANSITION STRIPS TO TERMINATE UNDER DOOR.


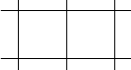




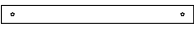






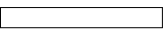

SEE SHEETS A7.14 AND A7.15 FOR TILE PATTERN ELEVATIONS

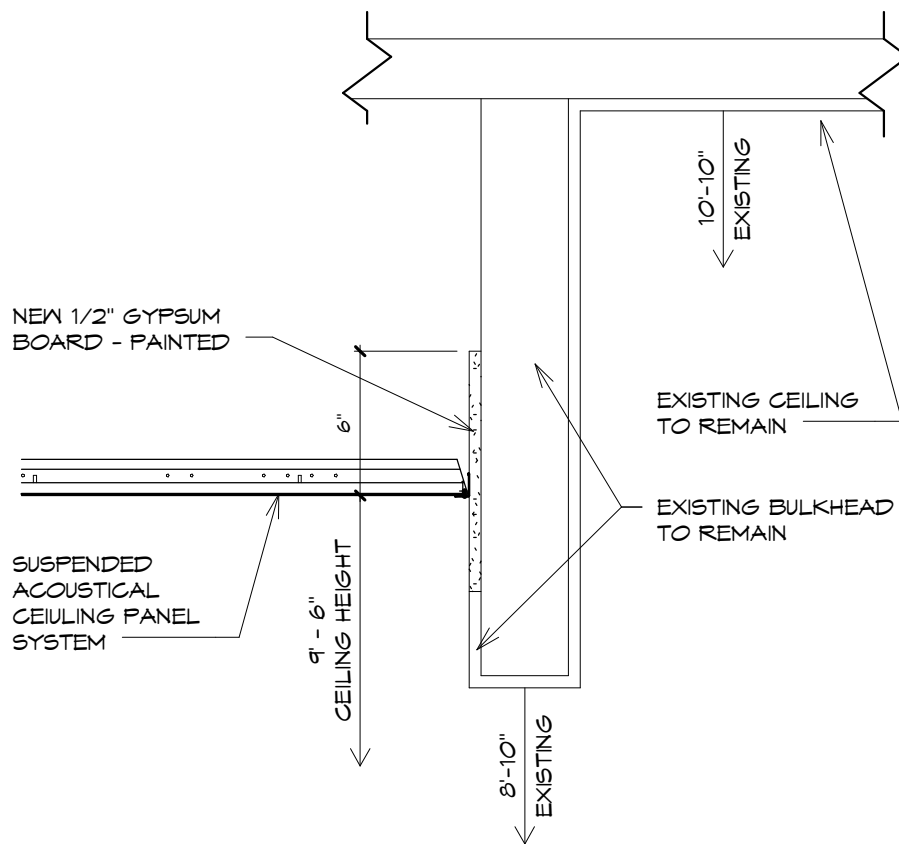
FACE OF SOFFITS TO BE PAINTED THE COLOR OF COORDINATING WALL AROUND IT - SEE DWGS. A7.6, A7.7, A7.8, AND A7.9

SEE DETAIL MDT-3 IN DRM FOR TILE BASE DETAIL

"CJ" REFERS TO CONTROL JOINT (SEE DETAIL FD-8 IN DRM AND A7.10, A7.11, A7.12 & A7.13 FOR LOCATIONS.

CEILING LEGEND

| | |
|---|--|
|  | GYPSUM BOARD CEILING/SOFFIT |
|  | 2' X 2' ACOUSTICAL PANEL CEILING |
|  | LINEAR METAL CEILING |
|  | 2' X 2' FLUORESCENT INDIRECT CEILING FIXTURE (SEE ELECTRICAL DRAWINGS) |
|  | 2' X 4' FLUORESCENT INDIRECT CEILING FIXTURE (SEE ELECTRICAL DRAWINGS) |
|  | RECESSED DOWN LIGHT (SEE ELECTRICAL DRAWINGS) |
|  | PENDANT LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS) |
|  | PENDANT LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS) |
|  | PENDANT LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS) |
|  | TRACK LIGHTING (SEE ELECTRICAL DRAWINGS) |
|  | CEILING DIFFUSER SUPPLY (SEE MECHANICAL DRAWINGS FOR SIZE) |
|  | RADIANT HEAT (SEE MECHANICAL DRAWINGS FOR SIZE) |
|  | CEILING DIFFUSER RETURN OR EXHAUST (SEE MECH. DWGS FOR SIZE) |
|  | STRIP LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS) |
| +9-6" | INDICATES CEILING HEIGHT |
| ETR | INDICATES EXISTING TO REMAIN |
|  | EXIT SIGN (SEE ELECTRICAL DRAWINGS) |



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED.
 SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD
 A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

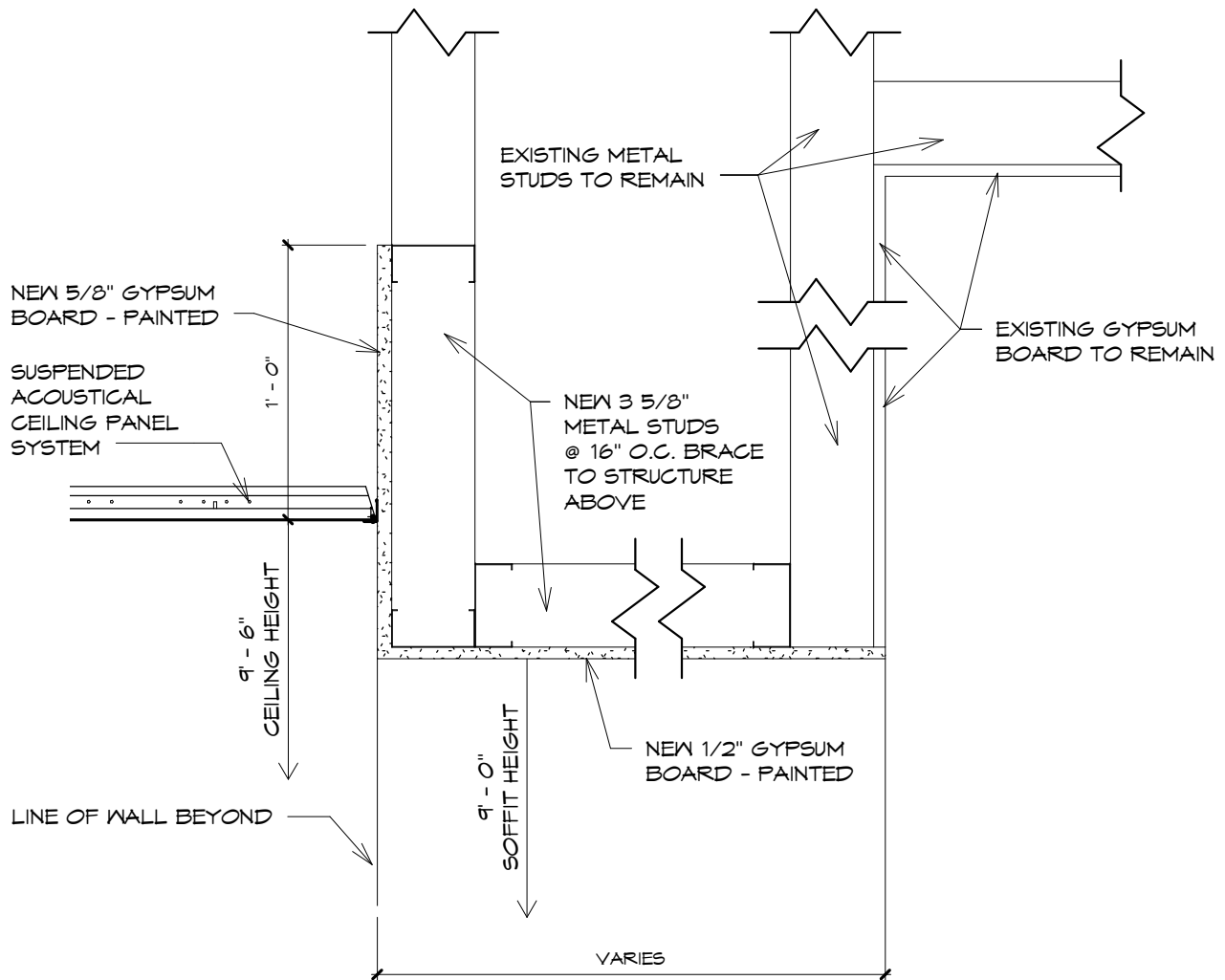
CEILING DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

CDT-33



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED.
 SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD
 A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

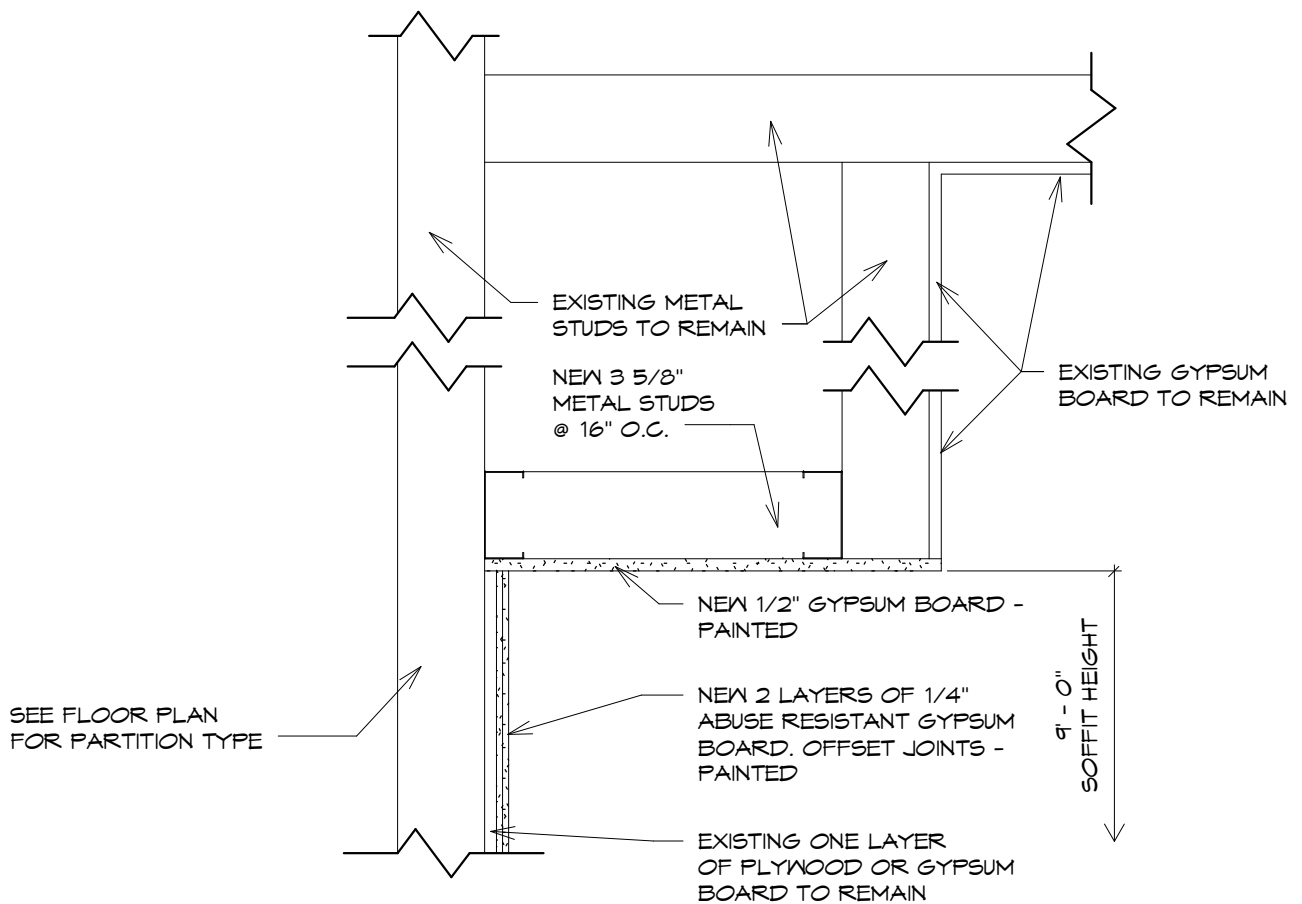
CEILING DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

CDT-40



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED. SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

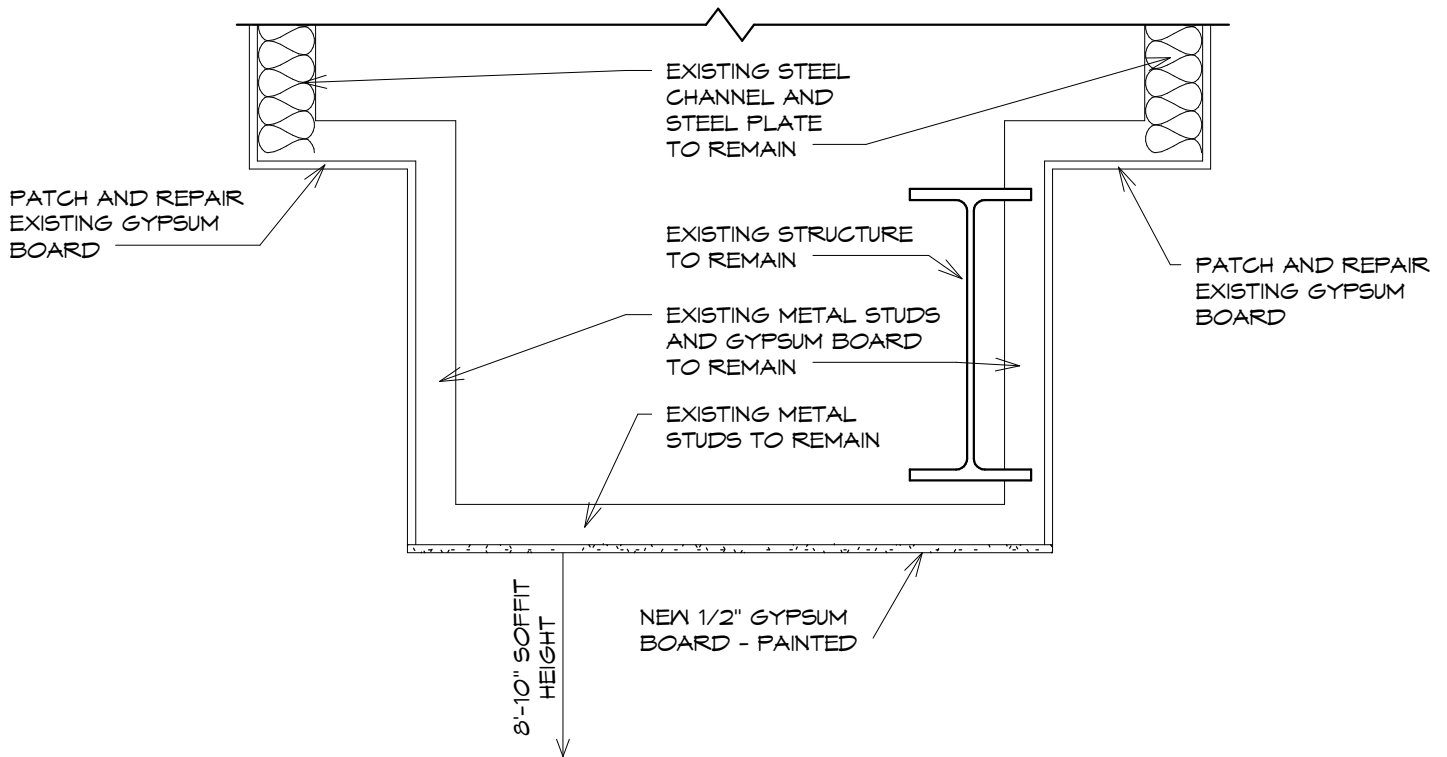
CEILING DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

CDT-42



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED. SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

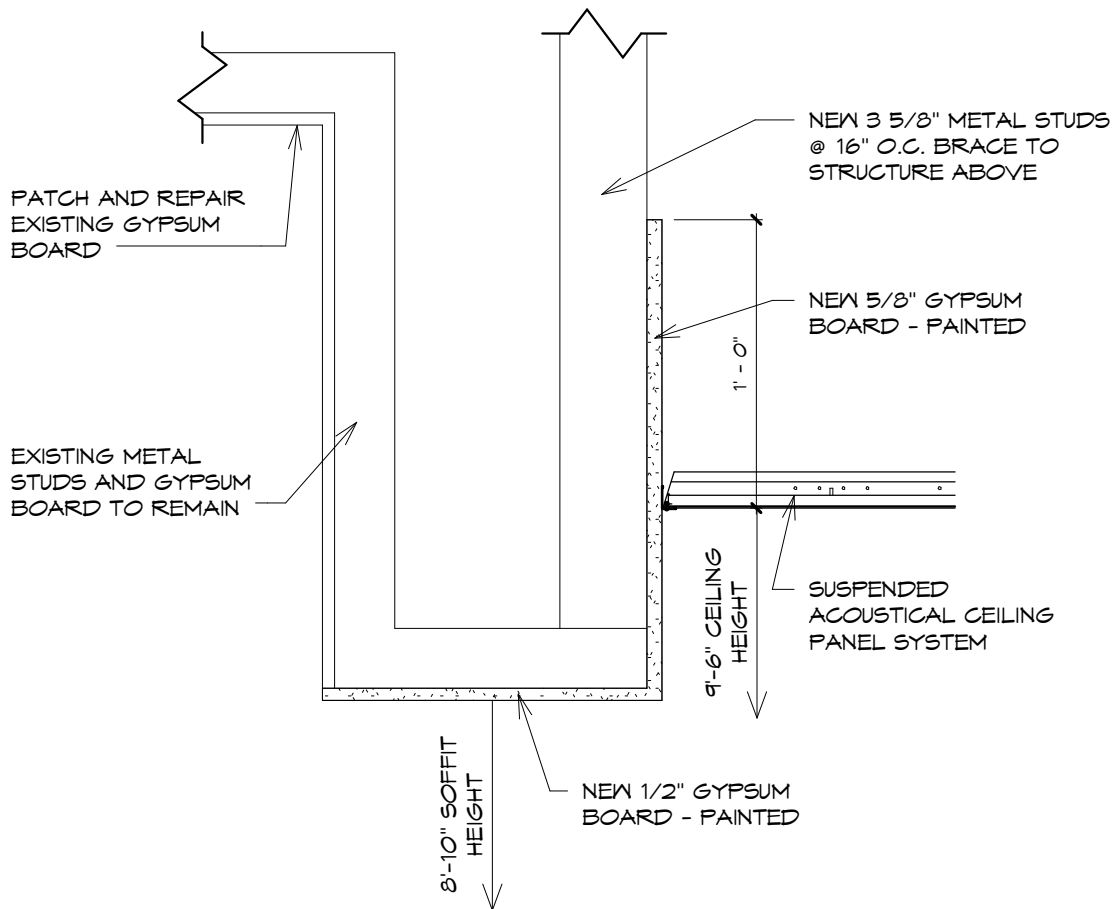
CEILING DETAIL

SCALE: 1" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

CDT-49



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED.
 SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD
 A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

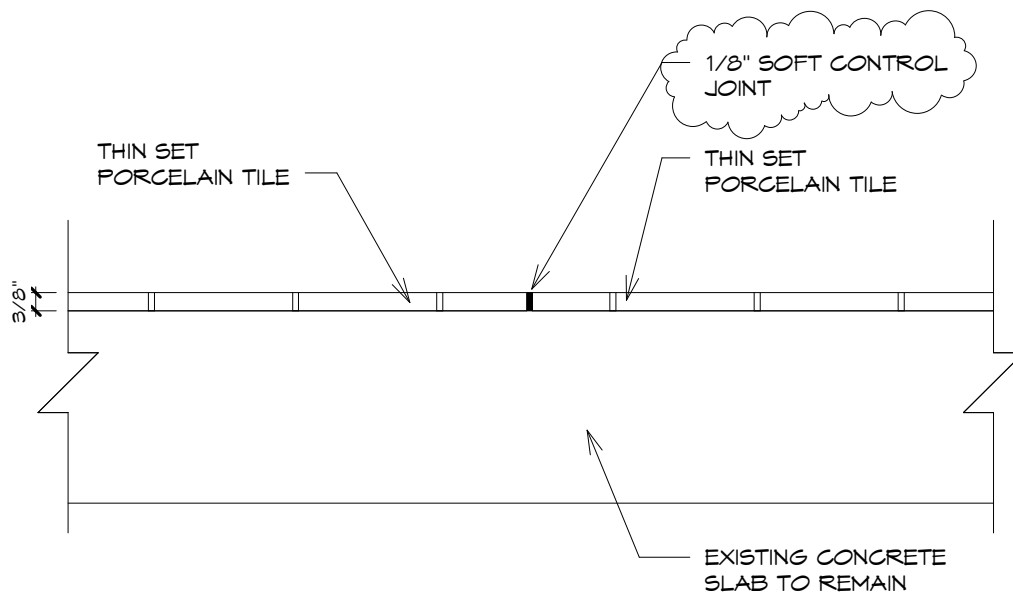
CEILING DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

CDT-50



FLOOR DETAIL

SCALE: 3" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

FD-8

KEY TO FINISHES

LEGEND

VCT - VINYL COMPOSITION TILE
VCB - VINYL COVE BASE
PT - PORCELAIN TILE
PTB - PORCELAIN TILE BASE
P - PAINT
CLG - CEILING
FRP - FIBERGLASS REINFORCED PANEL
SS - SOLID SURFACE
PLAM - PLASTIC LAMINATE
TP - TOILET PARTITION
PTG - PORCELAIN TILE GROUT
CPT - CARPET

QTZ - QUARTZ
PLG - PATTERNED GLASS
EMF - ENTRANCE FLOOR MAT
RB - ROLLING BLINDS
GF - GLASS FLOOR
ST - STAIR TREADS
SR - STAIR RISERS
SL - STAIR LANDINGS
EPC - EPOXY PAINTED CONCRETE
RP - RESIN PANEL
FAB - FABRIC
STN - WOOD STAIN
GLF - GLASS FILM

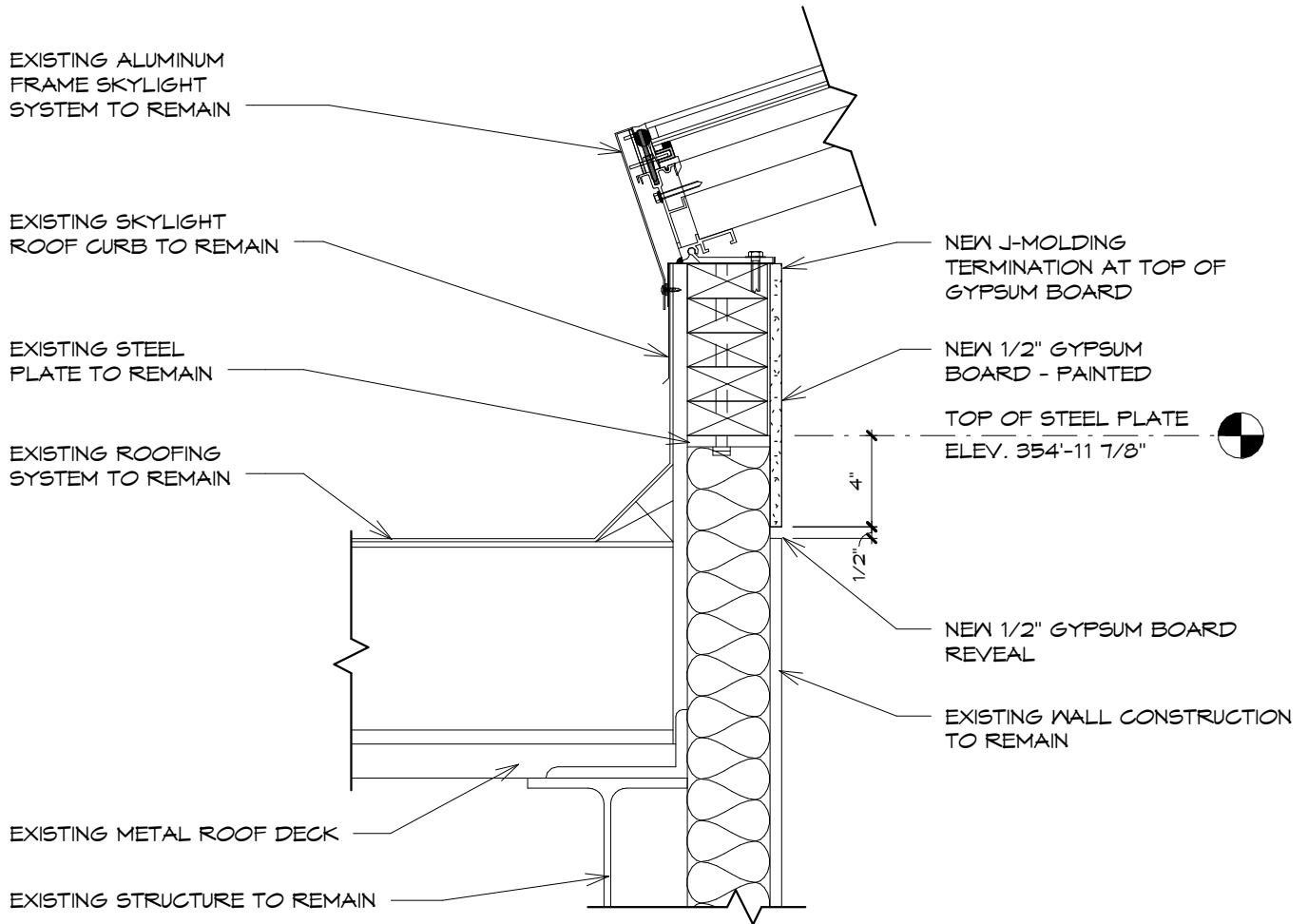
NOTES: ALL WINDOW STOOLES TO RECIEVE SS-5 FINISH.

ALL UNDERSIDES OF SOFFITS TO BE PAINTED P-2, EXCEPT IN
ROOM 103, SEE DETAILS ON ELEVATION 25.

PHASE 3 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC TED LICK
ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

KTF-0



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED.
SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD
A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

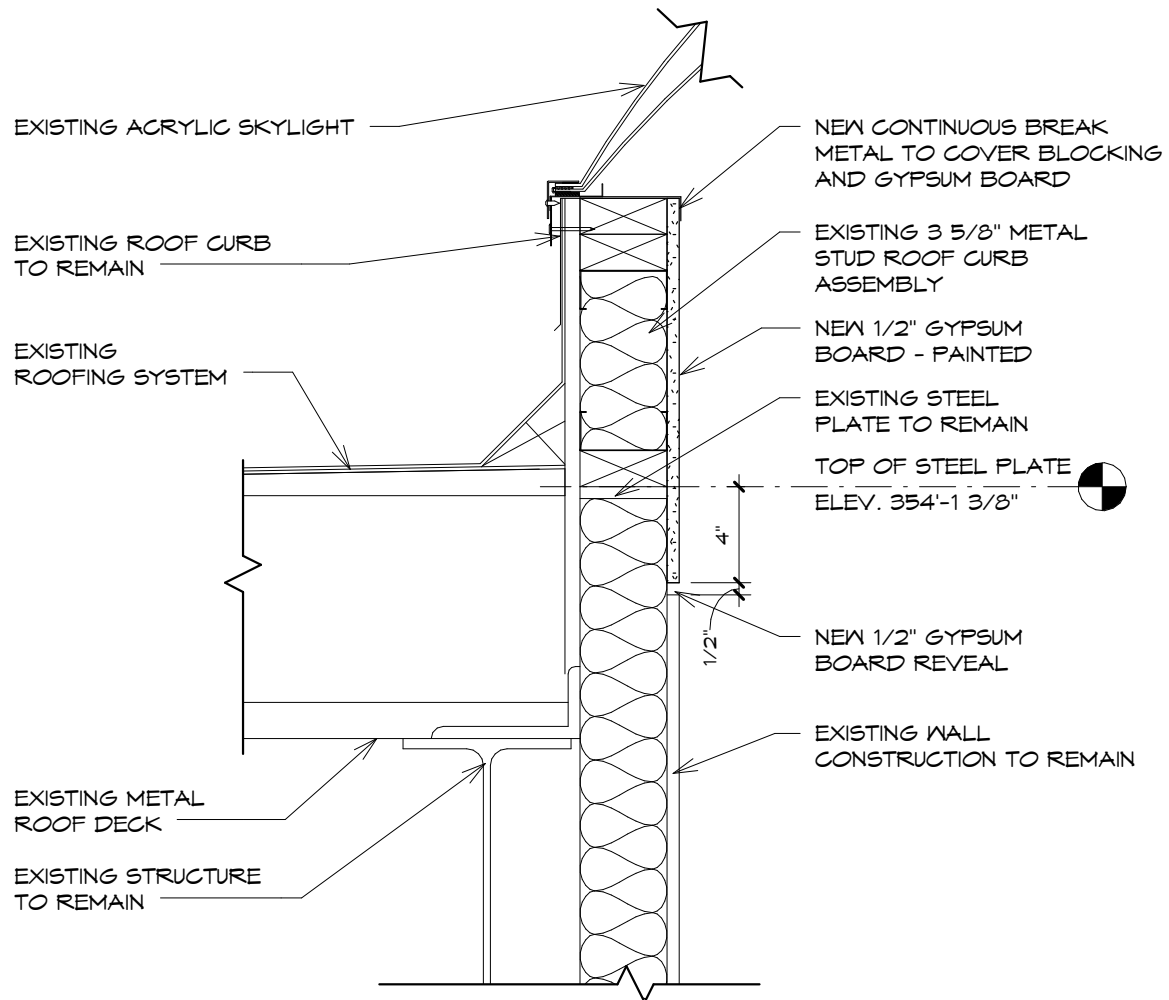
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC TED LICK
ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-1



NOTE: ALL EXPOSED EXISTING GYPSUM BOARD TO BE PAINTED. SAND THE EXISTING GYPSUM BOARD SURFACE AND ADD A 'LEVEL 5' - SKIM COAT BEFORE PAINTING.

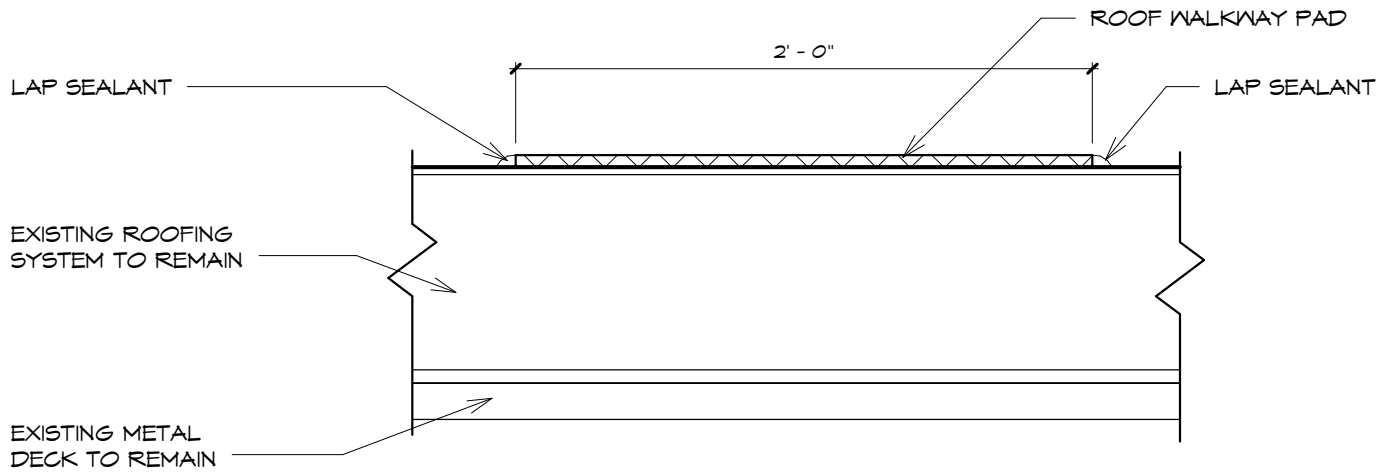
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
3395/ ALTERATIONS TO HACC TED LICK
ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-2



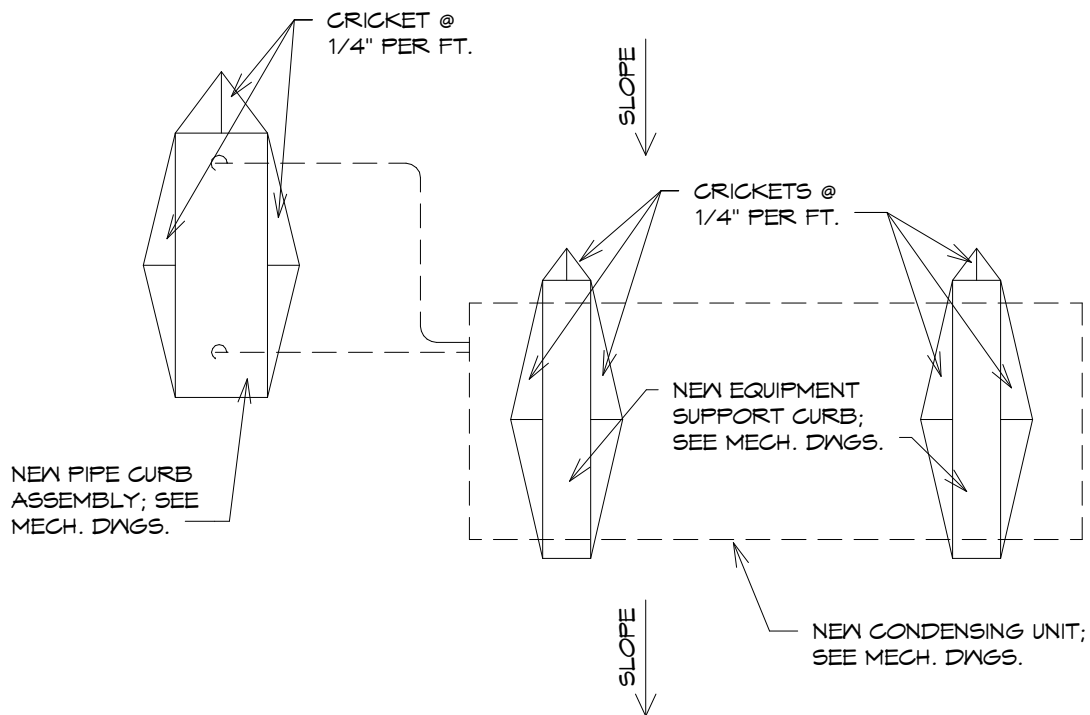
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-3



NOTE: SEE RD-5 IN D.R.M. FOR FLASHING OF PIPE CURB ASSEMBLY AND EQUIPMENT SUPPORT. TYPICAL FOR ALL 6 UNITS; SEE MECHANICAL DRAWINGS. INSTALLER MUST MAINTAIN ALL ROOF WARRANTIES.

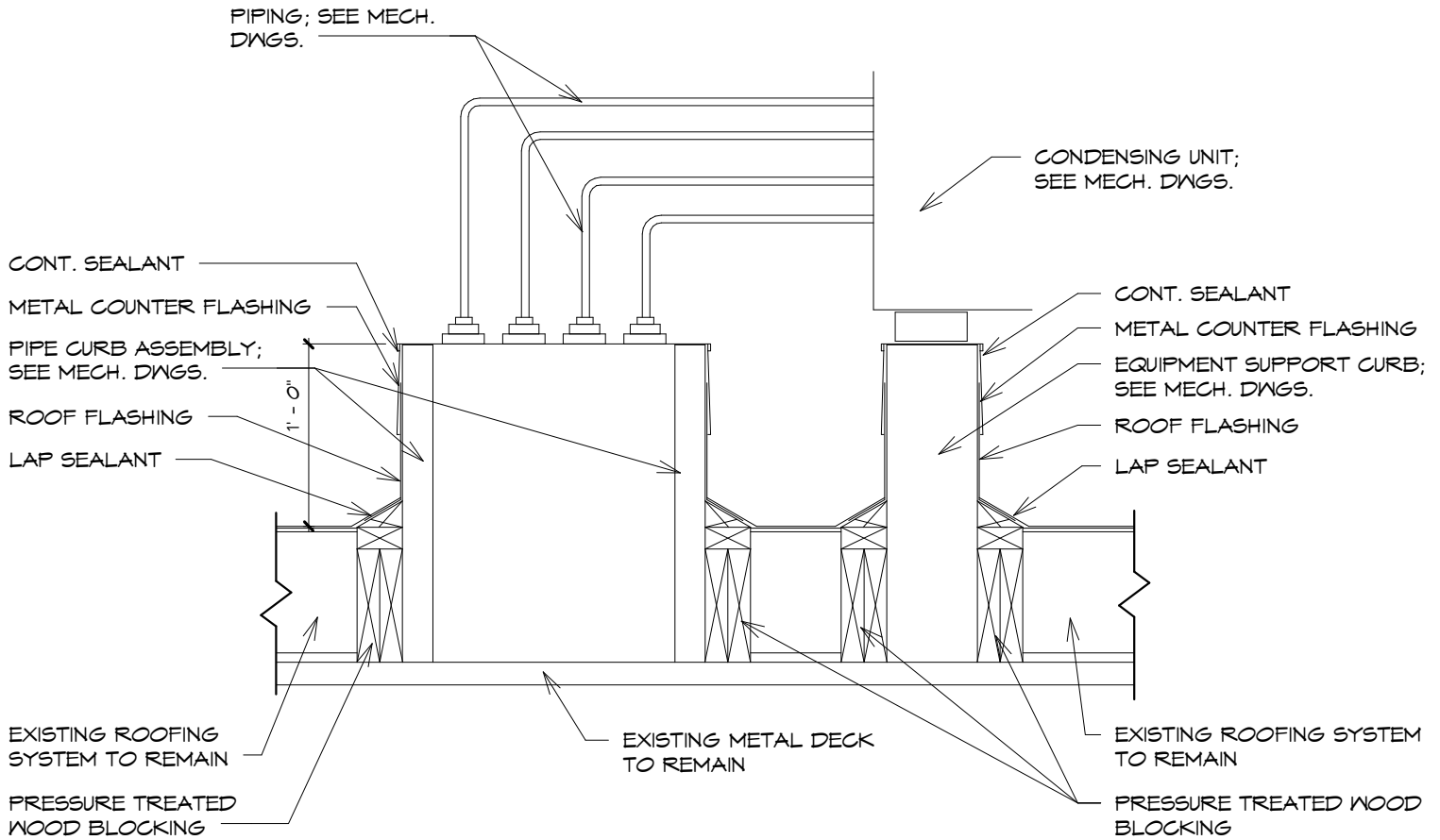
ROOF DETAIL

SCALE: 1" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-4



NOTE: TYPICAL FOR ALL 6 UNITS; SEE MECHANICAL DRAWINGS.
 INSTALLER MUST MAINTAIN ALL ROOF WARRANTIES.

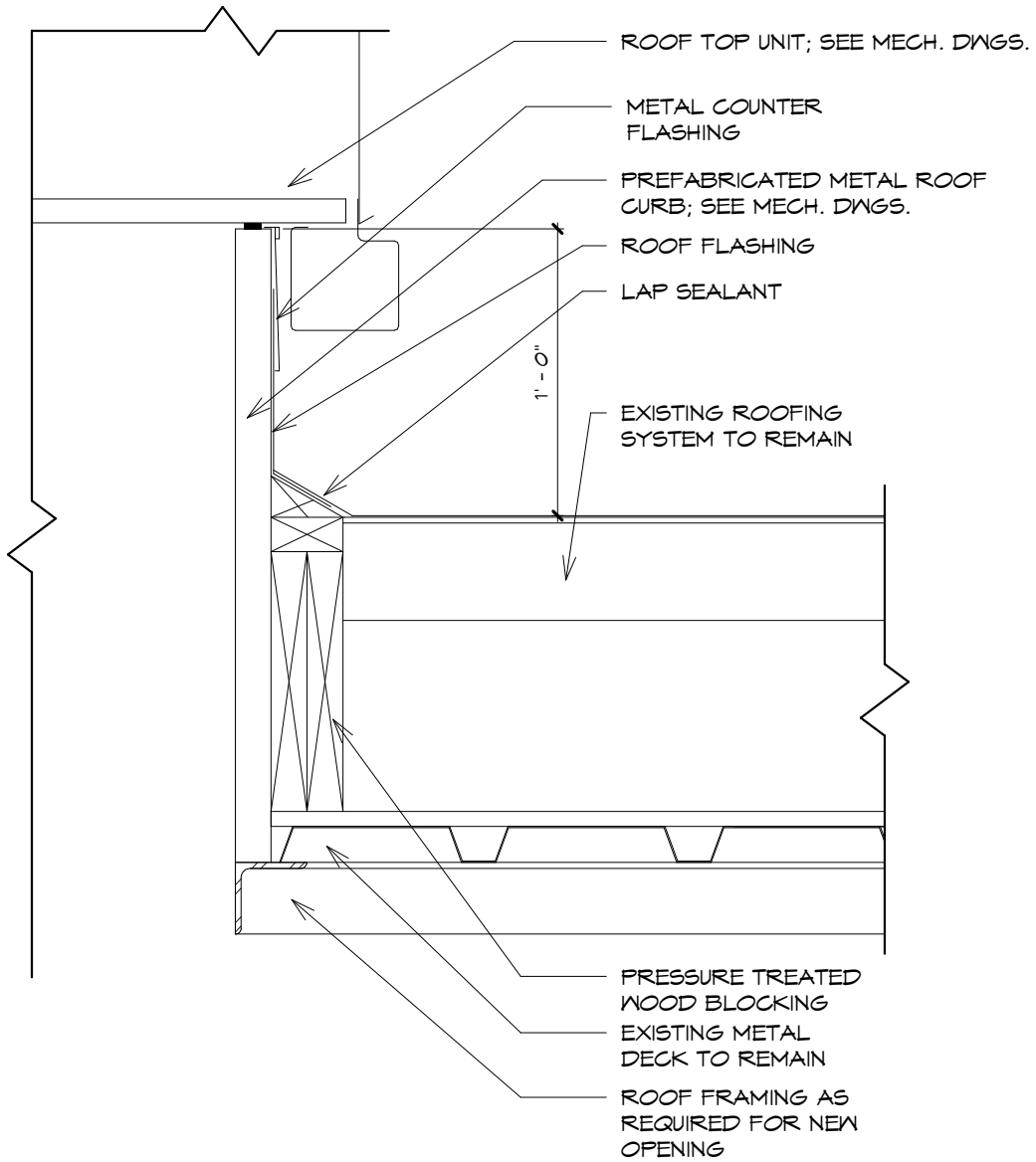
ROOF DETAIL

SCALE: 1" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-5



NOTE: INSTALLER MUST MAINTAIN ALL ROOF WARRANTIES.

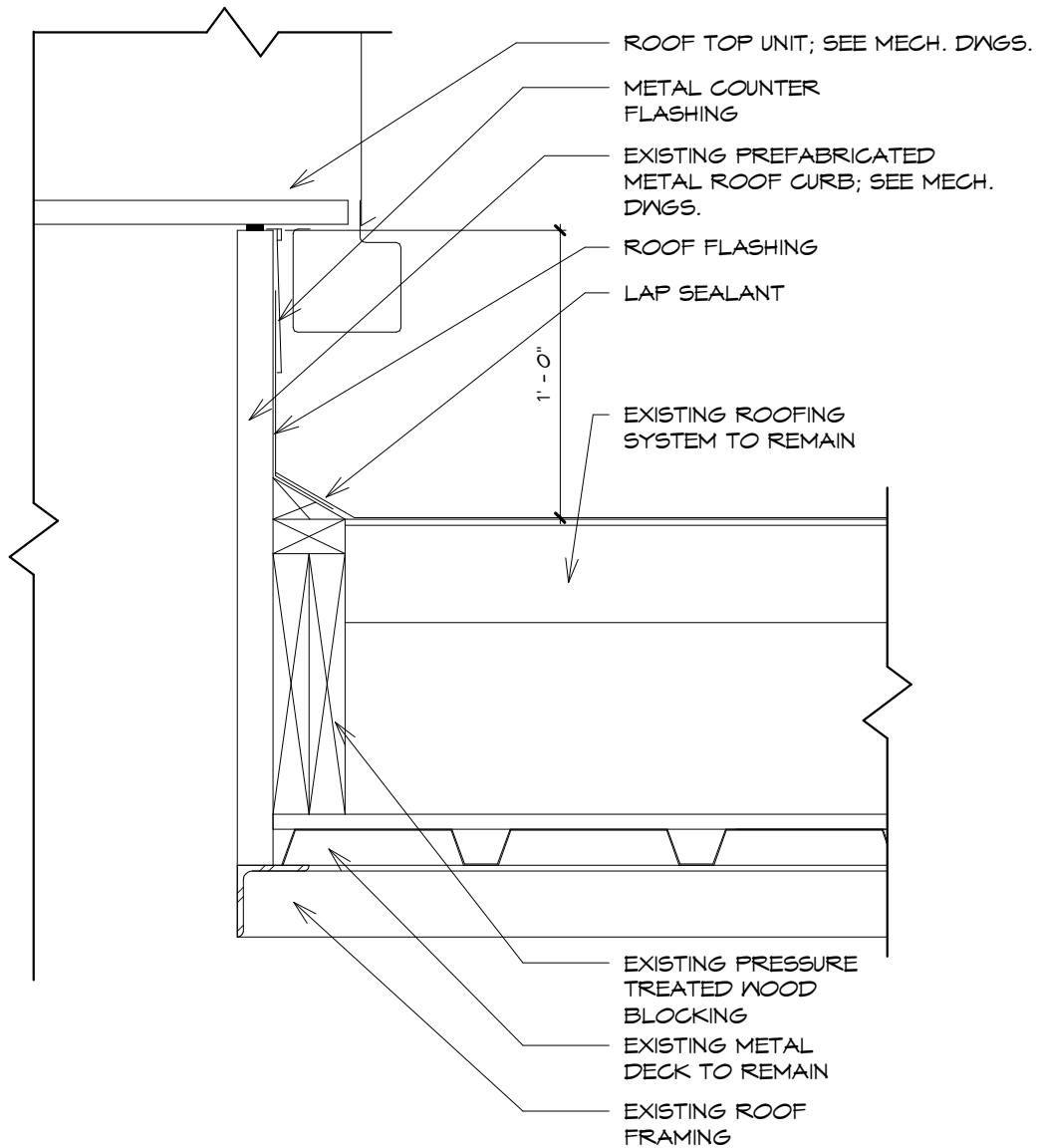
ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-6



NOTE: INSTALLER MUST MAINTAIN ALL ROOF WARRANTIES.

ROOF DETAIL

SCALE: 1 1/2" = 1'-0"

PHASE 3 - CONSTRUCTION DOCUMENTS
 3395/ ALTERATIONS TO HACC TED LICK
 ADMINISTRATION BUILDING/ FEBRUARY 8, 2013
 MURRAY ASSOCIATES ARCHITECTS, P.C.

ADDENDUM #1 - FEBRUARY 22, 2013

RD-7