



ADDENDUM #2

January 4, 2013

Re: Harrisburg Area Community College
Central Administration – Wildwood Conference Center Renovations
Phase 2 - Demolition
Solicitation # RFB13-12

From: Eastern PCM, LLC
Construction Manager – HACC
645 N. 12th Street, Suite 200
Lemoyne, PA 17043

To: All Planholders

This Addendum is hereby made part of the Plans and Project Manual dated October 17, 2012 for the above referenced project. The provisions of this Addendum are intended to supplement the provisions of the Plans and Project Manual and/or supersede them where contradictory thereto.

This Addendum contains changes to the requirements of the Plans and Project Manual. Such changes shall be incorporated into the Plans and Project Manual and shall apply to work with the same meaning and force as if they had been included in the original Plans and Project Manual. Where this Addendum modifies a portion of a paragraph or phrase of the Project Manual, the remaining unmodified portion of the paragraph or phrase shall remain in force.

The conditions and terms of the Plans and Project Manual shall govern work described in this Addendum. Whenever the conditions of work, or the quality or quantity of materials or workmanship are not fully described in this Addendum, the conditions of work etc. included in the Plans and Project Manual for similar items of work shall apply to the work described in this Addendum. If no similar items of work are included in the Plans and Project Manual, the quality of material and workmanship shall be subject to the written acceptance of the Architect.

2.1 CHANGES TO ADDENDUM #1

- A. Paragraph 1.4.Q: DELETE this line in its entirety.
- B. Paragraph 1.5.II: REVISE “MDT-17” to read “RD-17”
- C. Paragraph 1.5.JJ: REVISE “MDT-18” to read “RD-18”
- D. Paragraph 1.5.KK: REVISE “MDT-19” to read “RD-19”
- E. Paragraph 1.5.LL: REVISE “MDT-20” to read “RD-20”

F. Paragraph 1.6.Q: DELETE this line in its entirety.

2.2 CHANGES TO THE SPECIFICATIONS

A. 07540 – Thermoplastic Membrane Roofing

a. Paragraph 1.09.C: REVISE to read:

“Manufacturer Qualifications: A qualified manufacturer that is UL Class A and FM 1-90 for membrane roofing system identical to that used for this project.”

b. Paragraph 2.02.C.1: REVISE to read:

“Minimum four (4) layers of extruded polystyrene board”

c. Paragraph 2.04.A: REVISE to read:

“A. Deck Sheathing: Cellulosis-fiber-reinforced, water resistant gypsum substrate ASTM C 1278/C1278M, 5/8 inch (16mm) thick.

1. Products: Subject to compliance with requirements, provide the following:

- a. Carlisle Syntec Incorporated: Securock
- b. Georgia-Pacific Corp.: Dens Deck Prime (basis of design)
- c. Or equal

d. Paragraph 3.03.A.3: DELETE this line in its entirety.

2.3 CHANGES TO THE DRAWINGS

A. Drawing A2.5 – Large Scale First Floor New Plan: REPLACE this drawing in its entirety.

B. Drawing A3.2 – Exterior Elevations – New – South and West: REPLACE this drawing in its entirety.

C. Drawing A8.4 – Demolition and New Wall Sections: REPLACE this drawing in its entirety.

D. Drawing H1.3 – Large Scale Penthouse Demolition Plan – Section A – HVAC – Ductwork: ADD this sheet to the drawing set.

E. Drawing P2.7 – Roof Plan – Section A – Plumbing: REVISE Keyed Note 4 to read: “Replace existing roof drain on Penthouse Roof with new RD-1 and reconnect to existing piping in penthouse.

2.4 CHANGES TO THE DETAIL REFERENCE MANUAL

A. L-2 – New Construction Keynotes – REPLACE this page in its entirety.

2.5 CLARIFICATIONS

A. Removal of the skylight, curb, steel plate, metal studs, clip angles, gypsum board, and blocking as indicated on RD-16 of the DRM is the responsibility of Contract No. 2.

- B. Refer to existing structural drawings for sloping of joists.
- C. Tapered insulation will be required on the main roof, Penthouse, and small roofs over the entrances and should each consist of four layers of 2" insulation.
- D. A vapor barrier is required per specification section 07540-2.03D & 3.04.
- E. Use pressure treated lumber for all blocking, nailers, etc associated with the roofing system.
- F. Installation of new roof drains and extensions is the responsibility of Contract No. 1.
- G. Backer rod and sealant shown on RD-1 of the DRM is the responsibility of Contract No.

2.6 ATTACHMENTS

- A. A2.5 – Large Scale First Floor New Plan – Section B (revised 1.4.13)
- B. A3.2 – Exterior Elevations - New South and West (revised 1.4.13)
- C. A8.4 – Demolition and New Wall Sections (revised 1.4.13)
- D. H1.3 - Large Scale Penthouse Demolition Plan – Section A – HVAC – Ductwork (revised 12.21.12)
- E. L-2 – New Construction Keynotes (revised 1.4.13)
- F. "Wildwood" Addition to Hall Technology Building Construction Drawings, Dated 11/9/90: for reference only.

END OF ADDENDUM



Please sign and return this page, via fax, to Eastern PCM, LLC at (717) 233-1666 indicating receipt of this Addendum.

**HACC Central Administration Building
Phase 2 – Building Envelope Renovations**

Addendum # _____ has been received.

Company: _____
Print Company Name

Received By: _____
Print Name Signature

Date: _____

Please check one:

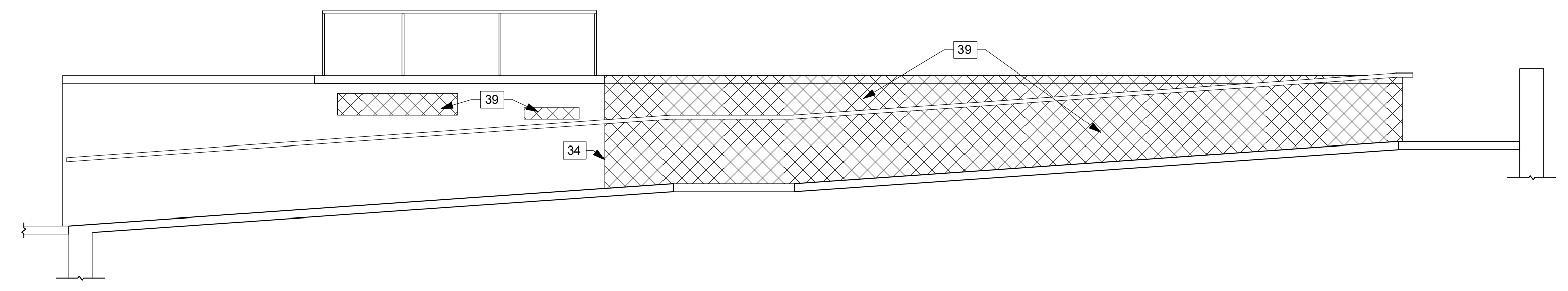
- _____ We are bidding as a prime contractor
- _____ We are not bidding
- _____ We are a sub-contractor

1 ENTIRE SHEET HAS BEEN ADDED
 2 ENTIRE SHEET HAS BEEN REVISED

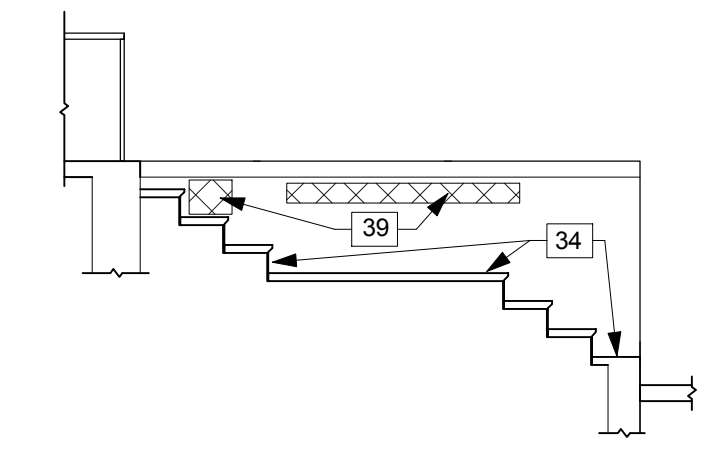
revisions		
no.	date	description
1	12/21/12	ADDENDUM #1
2	1/4/13	ADDENDUM #2

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

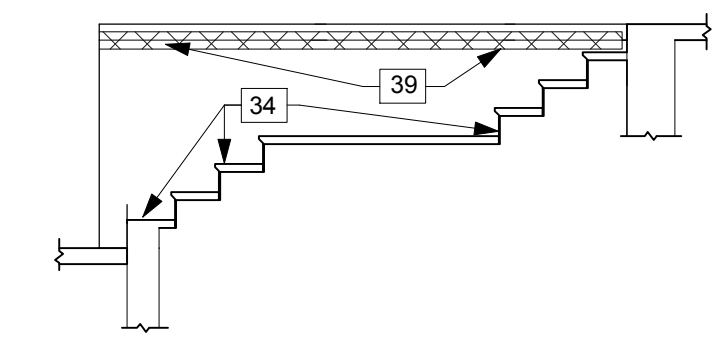
© Murray Associates Architects, P.C.
 CONSULTANT: OWNER'S REPRESENTATIVE
 EASTERN PGM, LLC
 645 N. 12TH STREET
 SUITE 200
 LEMOYNE, PA 17043
 717-233-3616



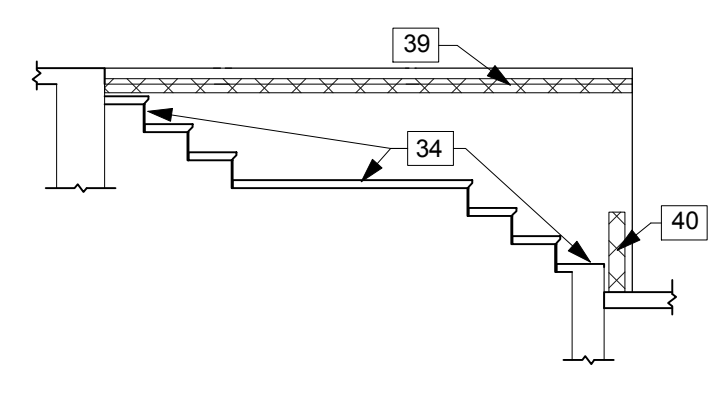
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 SCALE: 1/4" = 1'-0"
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 A8.4



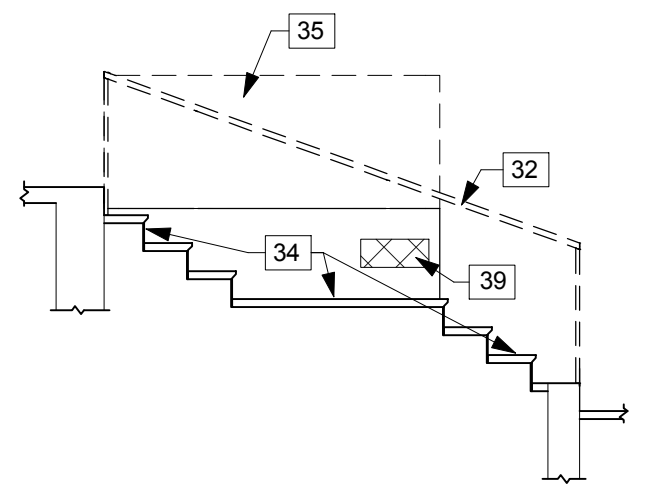
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 A8.4



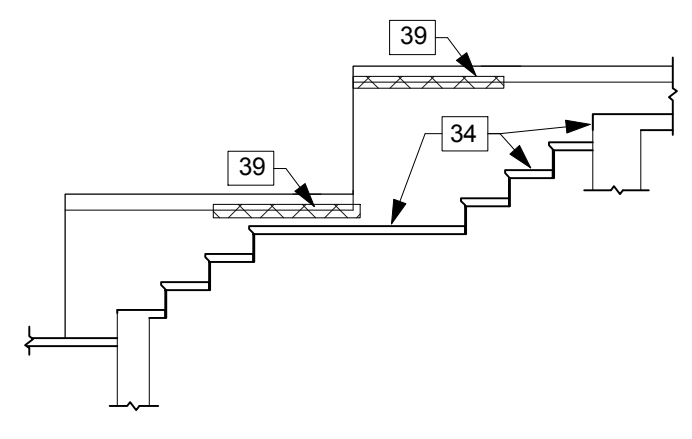
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 A8.4



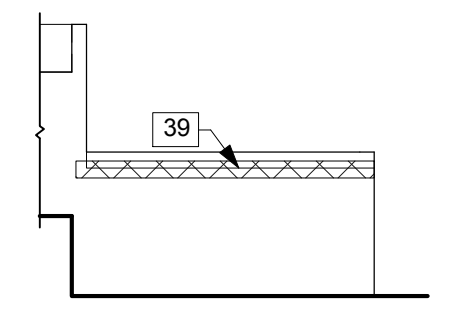
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 4
 A8.4



WALL SECTION - DEMOLITION 5
 SCALE: 1/4" = 1'-0"
 5
 A8.4



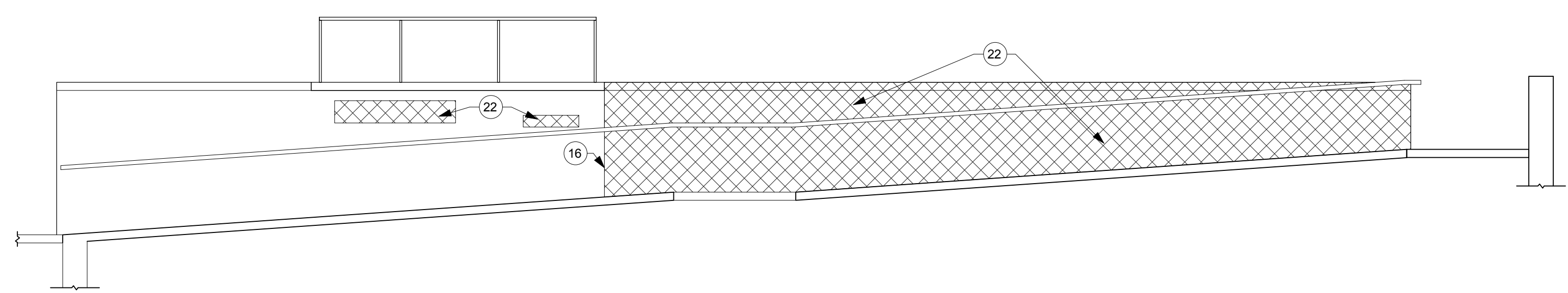
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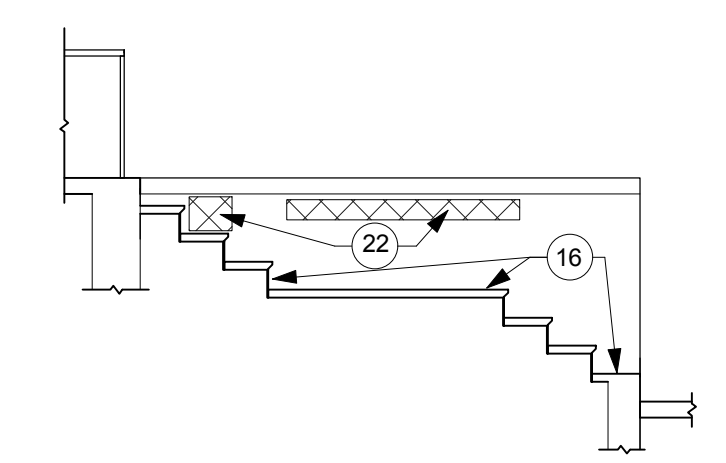
WALL SECTION - DEMOLITION 7
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 7
 A8.4

DEMOLITION WALL SECTIONS

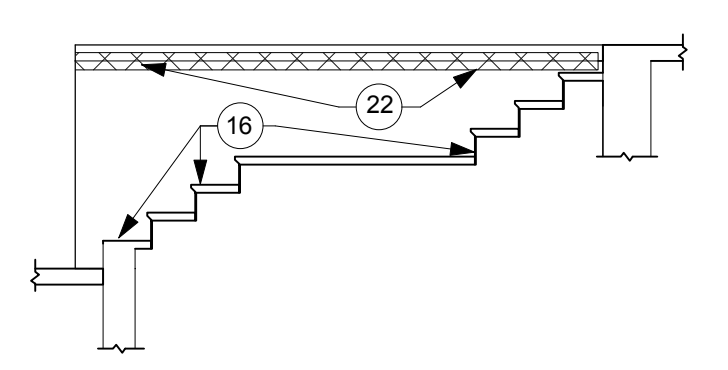
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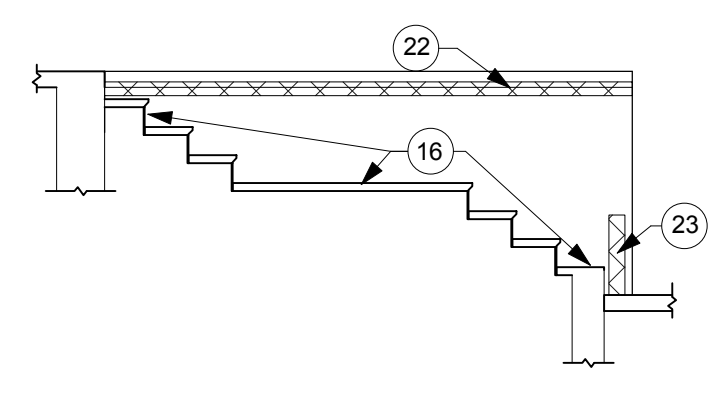
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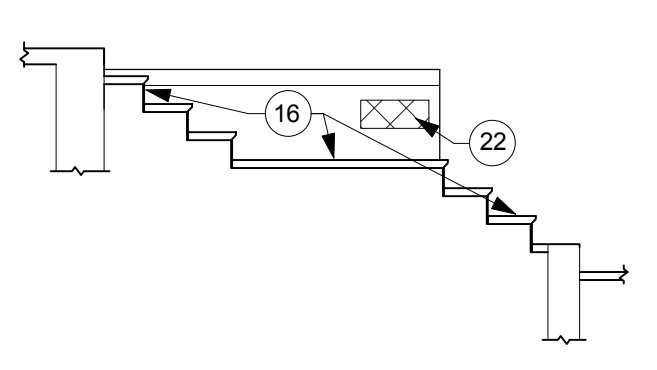
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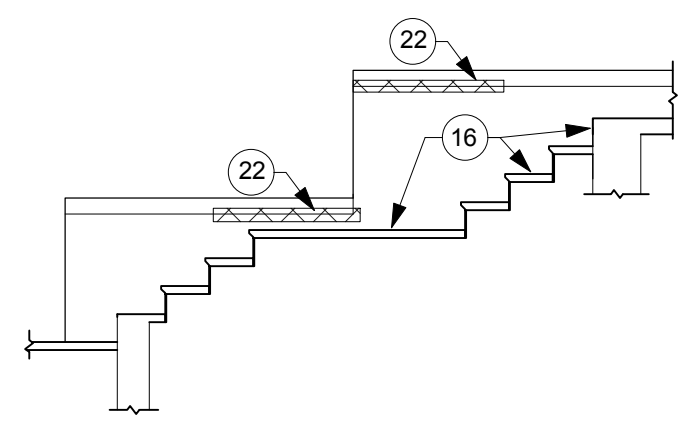
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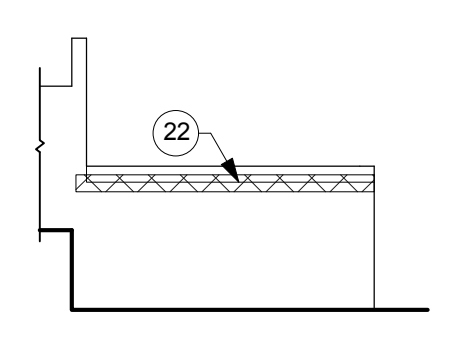
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 4
 A8.4



WALL SECTION - NEW 5
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 5
 A8.4



WALL SECTION - NEW 6
 SCALE: 1/4" = 1'-0"
 6
 A8.4



WALL SECTION - NEW 7
 SCALE: 1/4" = 1'-0"
 7
 A8.4

NEW WALL SECTIONS

SCALE: 1/4" = 1'-0"

MURRAY ASSOCIATES ARCHITECTS, P.C.
 1600 North Second Street
 Harrisburg, PA 17102
 717.234.2581 (voice)
 717.234.1201 (data)

ALTERATIONS TO HACC
 CENTRAL
 ADMINISTRATION
 BUILDING

HARRISBURG, PA

DEMOLITION AND NEW
 WALL SECTIONS

CONSTRUCTION
 DOCUMENTS

DRAWN BY: TAB
 CHECKED BY: BHD

DATE: DECEMBER 10, 2012

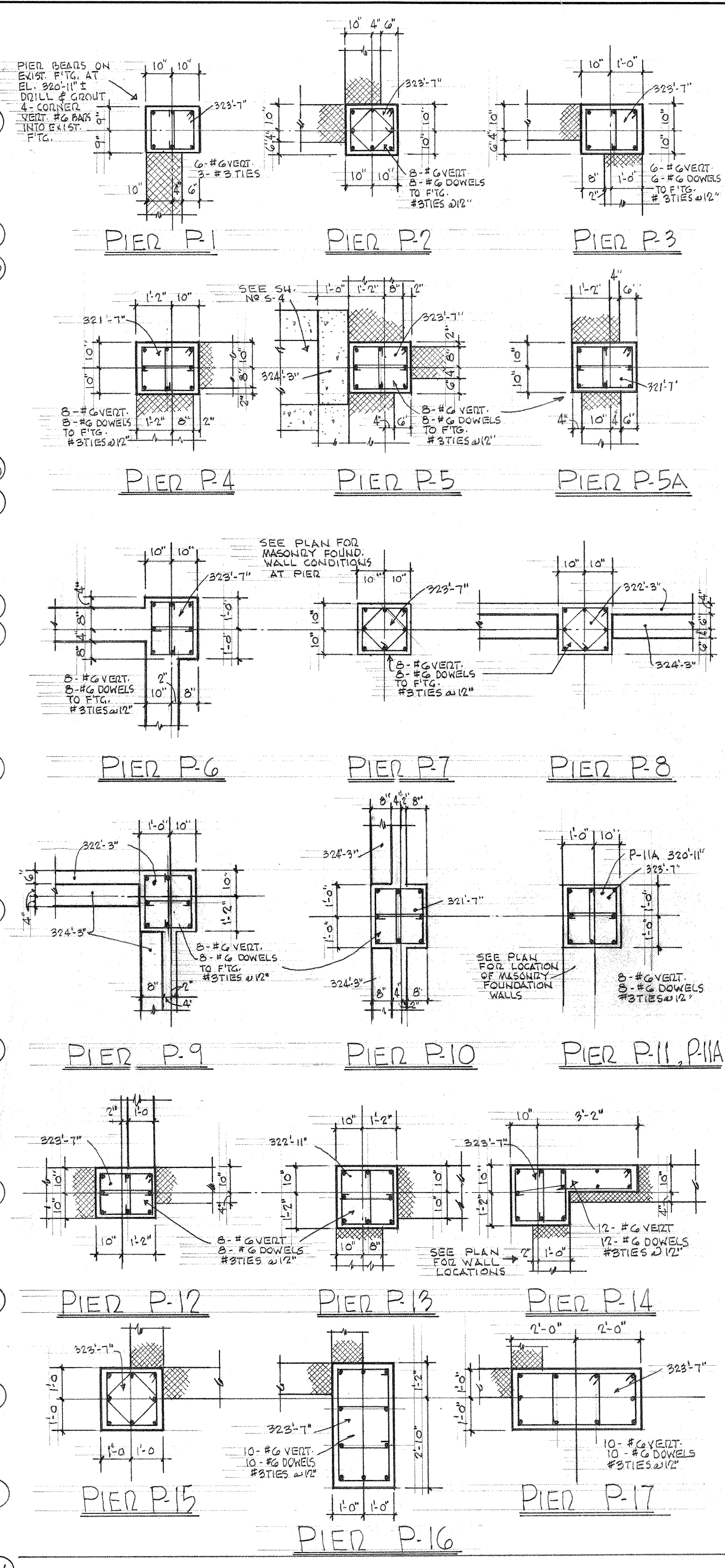
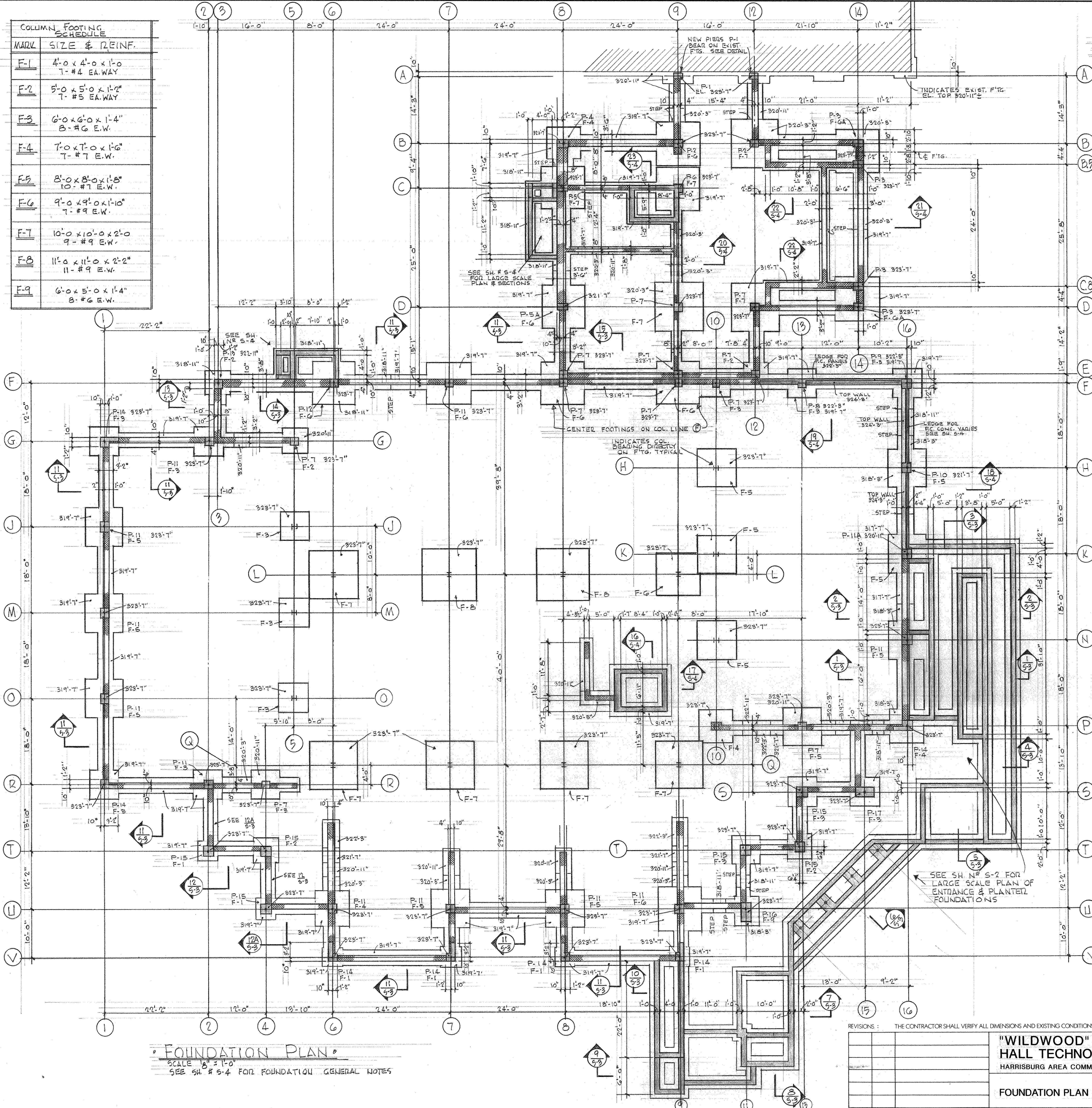
PROJECT NUMBER:
3395

SHEET NUMBER:
A8.4
 PHASE 2

NEW CONSTRUCTION KEYNOTES	
NUMBER	DESCRIPTION
1	NEW ALUMINUM SUNSHADE; COLOR TO MATCH WINDOW FINISH.
2	NEW ALUMINUM WINDOW SYSTEM.
3	NOT USED
4	NEW ALUMINUM GLASS SKYLIGHT.
5	NEW ALUMINUM ACRYLIC SKYLIGHT
6	NEW ROOFING SYSTEM.
7	NEW ROOFING SYSTEM W/ REINSTALLED BALLAST.
8	INFILL WITH TOPSOIL AS REQUIRED. GRADE AND SEED TO MATCH EXISTING.
9	NEW ALUMINUM FASCIA AND BREAK METAL. FASCIA AND BREAK METAL CUTS TO BE PLACED AT THE CENTERLINE OF A PRECAST PANEL AND COLUMN CENTERLINES.
10	RE-INSTALLED, MODIFIED HANDRAIL. SEE DETAIL MDT-12 AND MDT-13 IN D.R.M.
11	INSTALL NEW METAL DECK AND STRUCTURAL COMPONENTS (AS REQUIRED) TO ENCLOSE MECHANICAL OPENING. SEE DETAIL MDT-9 AND MDT-10 IN D.R.M.
12	PROVIDE NEW TOPSOIL AND BEDDING MATERIALS. REFER TO SPECIFICATIONS.
13	NEW ROOF WALKWAY PAD. SEE DETAIL RD-15 IN DRM.
14	RE-INSTALLED, MODIFIED ROOF LATTER. SEE DETAIL MDT-15 IN D.R.M.
15	ALL EXPOSED EXTERIOR PRECAST CONCRETE, BRICK AND CONCRETE SLABS SHALL BE CLEANED.
16	INSTALL NEW BACKER ROD AND SEALANT AT ALL JOINTS BETWEEN WINDOWS, MASONRY, PRECAST CONCRETE, ETC. SEE DETAILS MDT-16 THRU MDT-21 AND MDT-36 IN D.R.M.
17	PAINT EXISTING HANDRAIL SYSTEM. SEE SPECIFICATIONS FOR TYPE AND COLOR.
18	INSTALL NEW METAL DECK AND STRUCTURAL COMPONENTS (AS REQUIRED) TO ENCLOSE SKYLIGHT OPENING. SEE DETAIL MDT-34 IN D.R.M. INSTALL NEW ROOFING SYSTEM AS INDICATED ON RD-13.
19	INSTALL NEW PIN LETTERING SIGNAGE. SEE SHEET A8.3 FOR DIMENSIONS.
20	INSTALL NEW ROOF CURB AND COOLING TOWER EXHAUST VENT; SEE MECHANICAL DRAWINGS.
21	INSTALL NEW METAL DECK AND STRUCTURAL COMPONENTS (AS REQUIRED) TO ENCLOSE COOLING TOWER EXHAUST VENT HOOD. SEE DETAIL MDT-35 IN D.R.M. INSTALL NEW ROOFING SYSTEM AS INDICATED ON RD-3.
22	INSTALL NEW GROUT TO MATCH EXISTING.
23	INSTALL NEW BRICK AND MORTOR TO MATCH EXISTING.

2 →
2 →

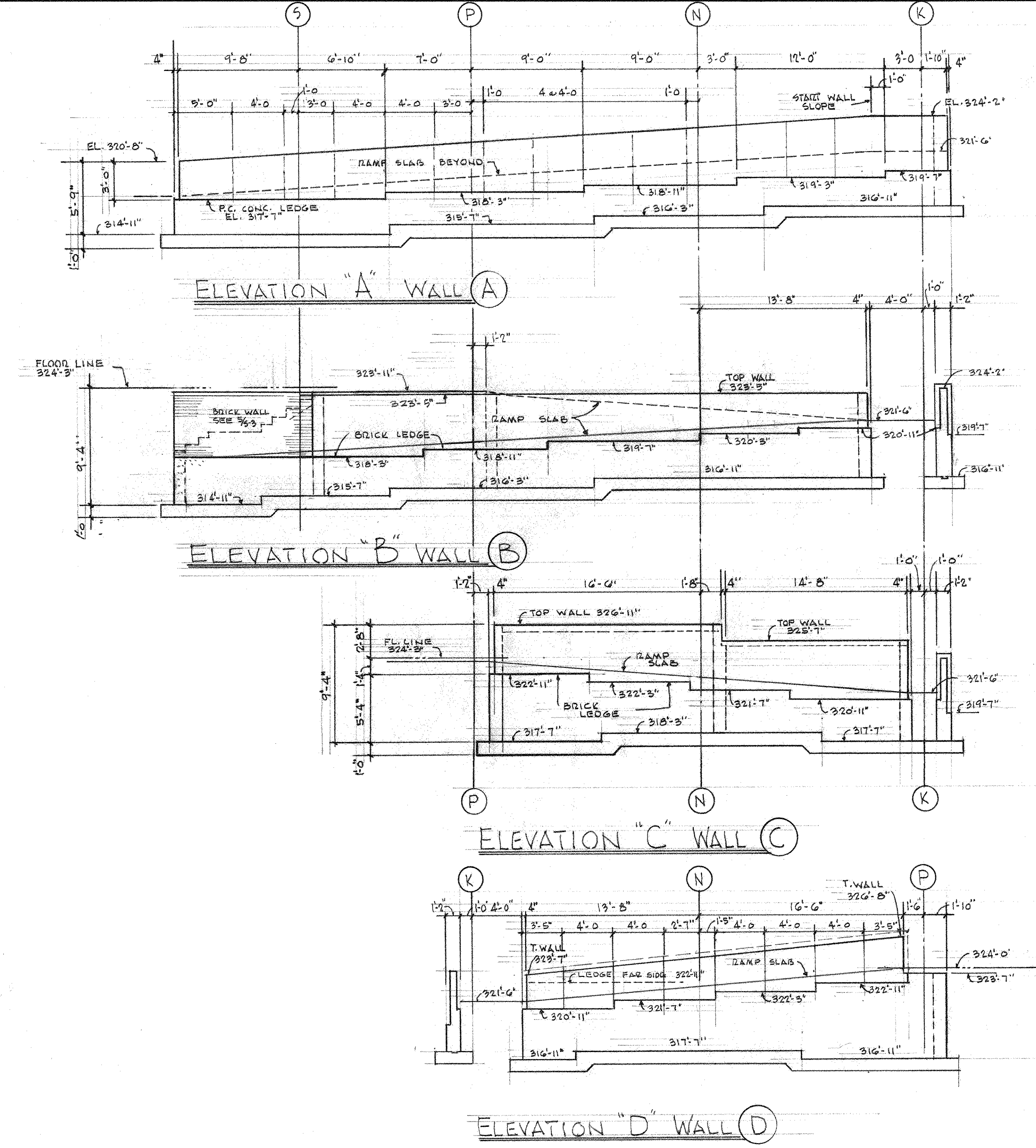
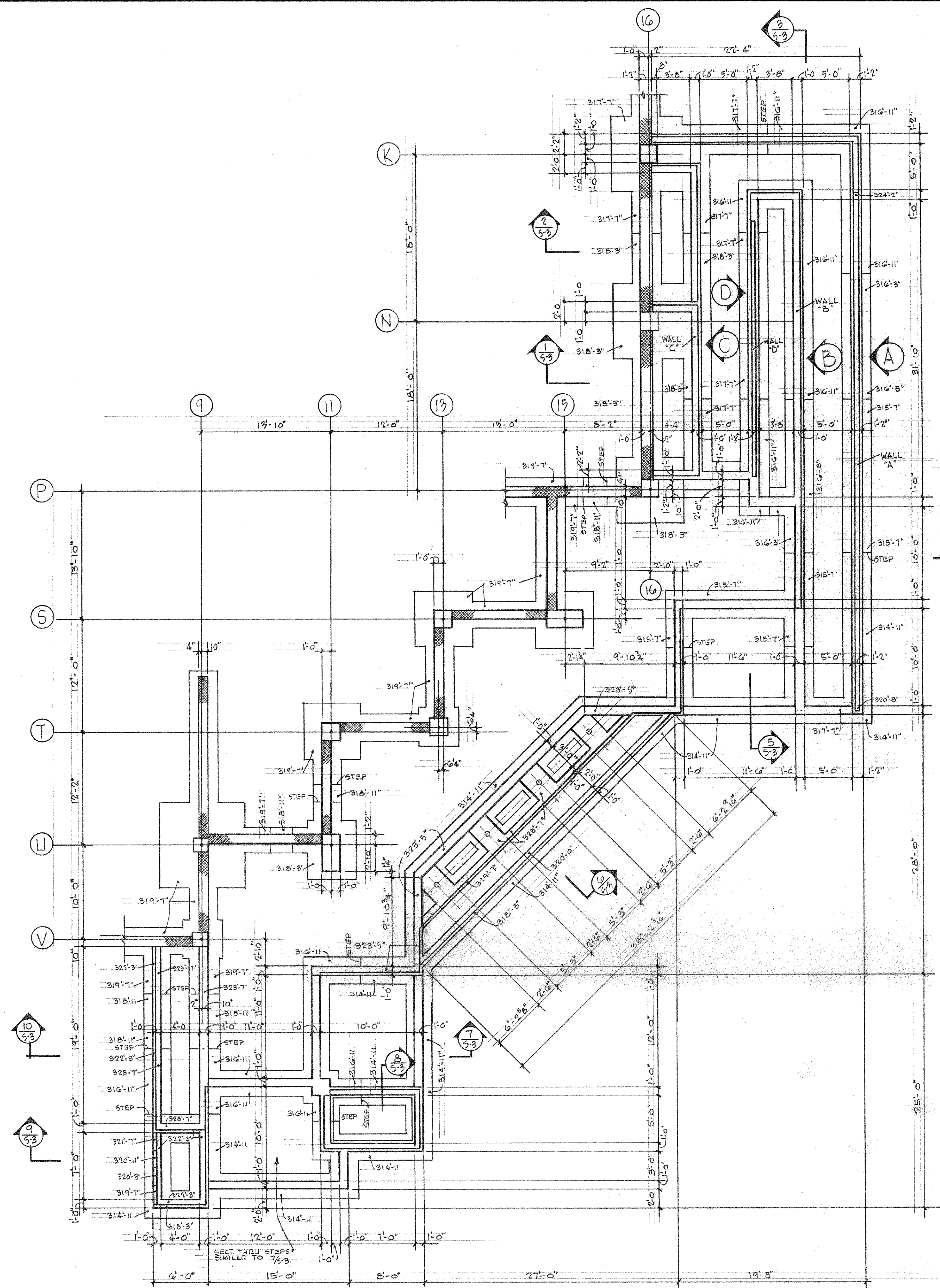
MARK	SIZE & REINF.
F-1	4'-0" x 4'-0" x 1'-0" 7-#4 EA.WAY
F-2	5'-0" x 5'-0" x 1'-2" 7-#5 EA.WAY
F-3	6'-0" x 6'-0" x 1'-4" 8-#6 E.W.
F-4	7'-0" x 7'-0" x 1'-6" 7-#7 E.W.
F-5	8'-0" x 8'-0" x 1'-8" 10-#7 E.W.
F-6	9'-0" x 9'-0" x 1'-10" 7-#9 E.W.
F-7	10'-0" x 10'-0" x 2'-0" 9-#9 E.W.
F-8	11'-0" x 11'-0" x 2'-2" 11-#9 E.W.
F-9	6'-0" x 5'-0" x 1'-4" 8-#6 E.W.



FOUNDATION PLAN
SCALE 1/4" = 1'-0"
SEE SH # 5-4 FOR FOUNDATION GENERAL NOTES

REVISIONS : THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

FOUNDATION PLAN	"WILDWOOD" ADDITION TO HALL TECHNOLOGY BUILDING HARRISBURG AREA COMMUNITY COLLEGE	MARTIN L. MURRAY AND ASSOCIATES MURRAY ASSOCIATES ARCHITECTS P.C. 1600 NORTH SECOND ST. HARRISBURG, PA. 17102-2499 (717) 234-2581	DATE © NOV 9, 1990
		PROJECT NO. 2249	DRAWING NO. S-1



GENERAL NOTES

FOUNDATIONS

- 1) ALL FOOTINGS SHALL BEAR ON CONTROLLED ENGINEERED GRANULAR FILL COMPACTED TO 95% MAX. DRY DENSITY - SEE SITE DEVELOPMENT DRAWINGS SD-4 & SD-5. ASSUMED BEARING CAPACITY OF FILL - 3000 LBS PER SQ. FT. ELEVATIONS INDICATED ON PLANS ARE TO TOPS OF FOOTINGS.
- 2) ALL CONC. FOR PIERS & FOOTINGS TO BE 3000 PSI IN 28 DAYS. ALL CONC. FOR WALLS TO BE 3000 PSI. ALL CONC. FOR SLABS ON GRADE & SLABS ON COMPOSITE METAL DECK TO BE 4000 PSI.
- 3) ALL SLABS ON GRADE TO BE FIBER REINFORCED. ALL REINF. STEEL TO BE ASTM A615 - GRADE 60. ALL MESH FOR SLABS ON METAL DECK TO BE 6x6" W/21 K W 2.1
- 4) ALL CONC. MASONRY SHALL MEET ASTM C-90 SPECIFICATION. ALL MORTAR SHALL BE TYPE "M" OR "S"

STRUCTURAL STEEL

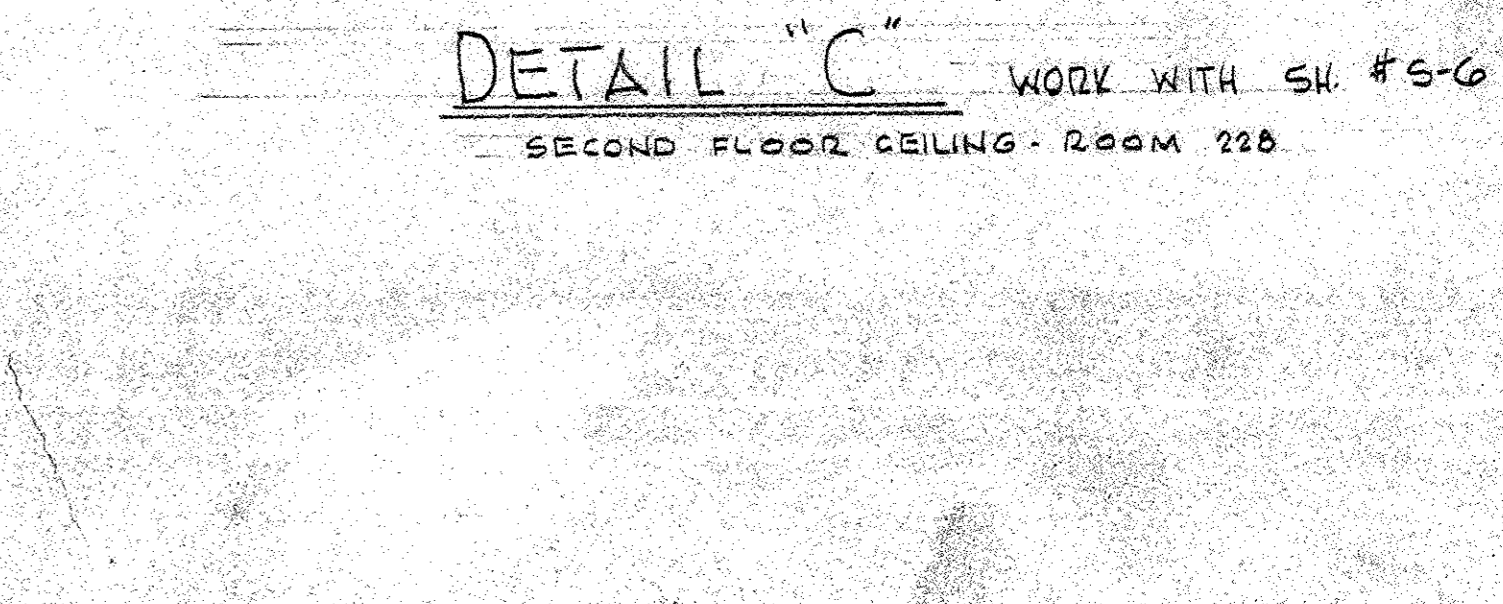
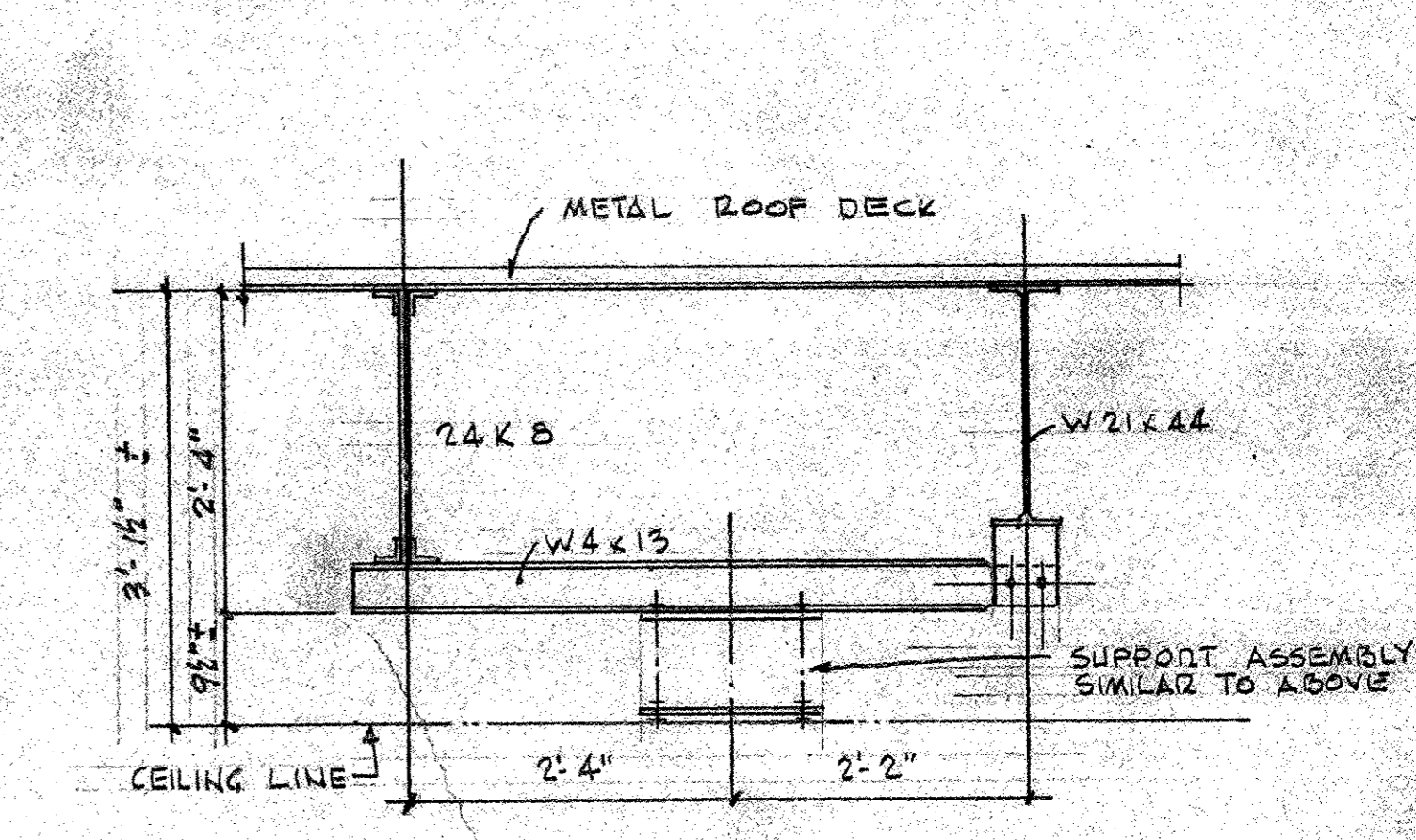
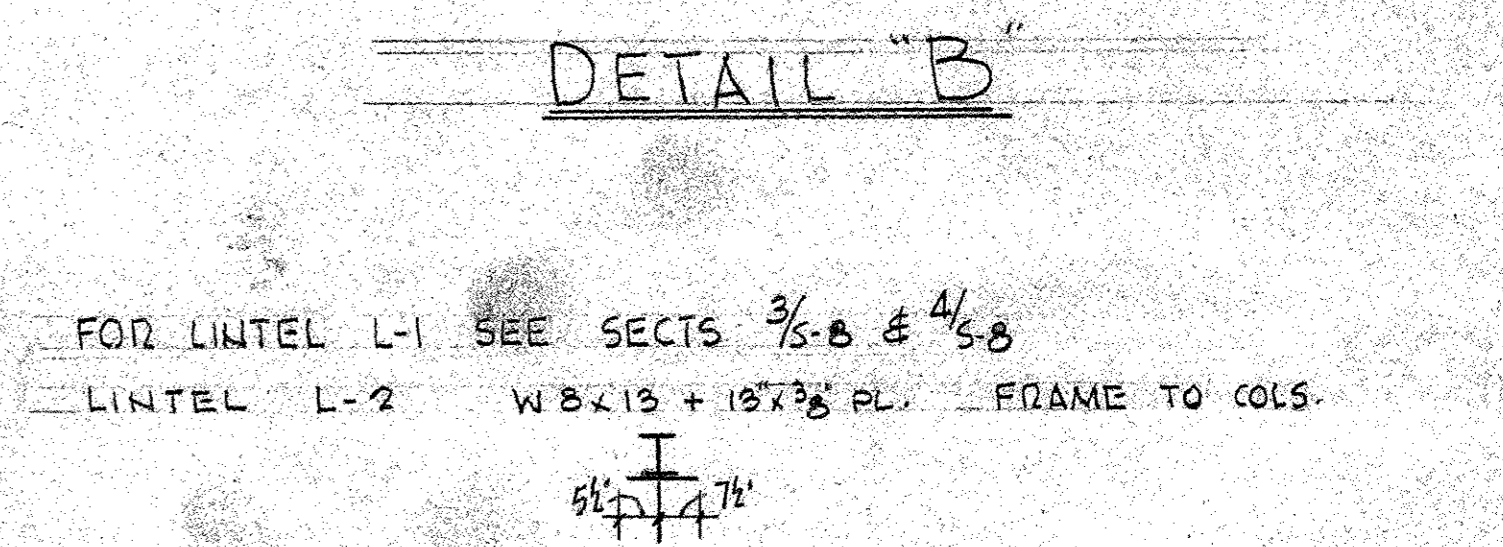
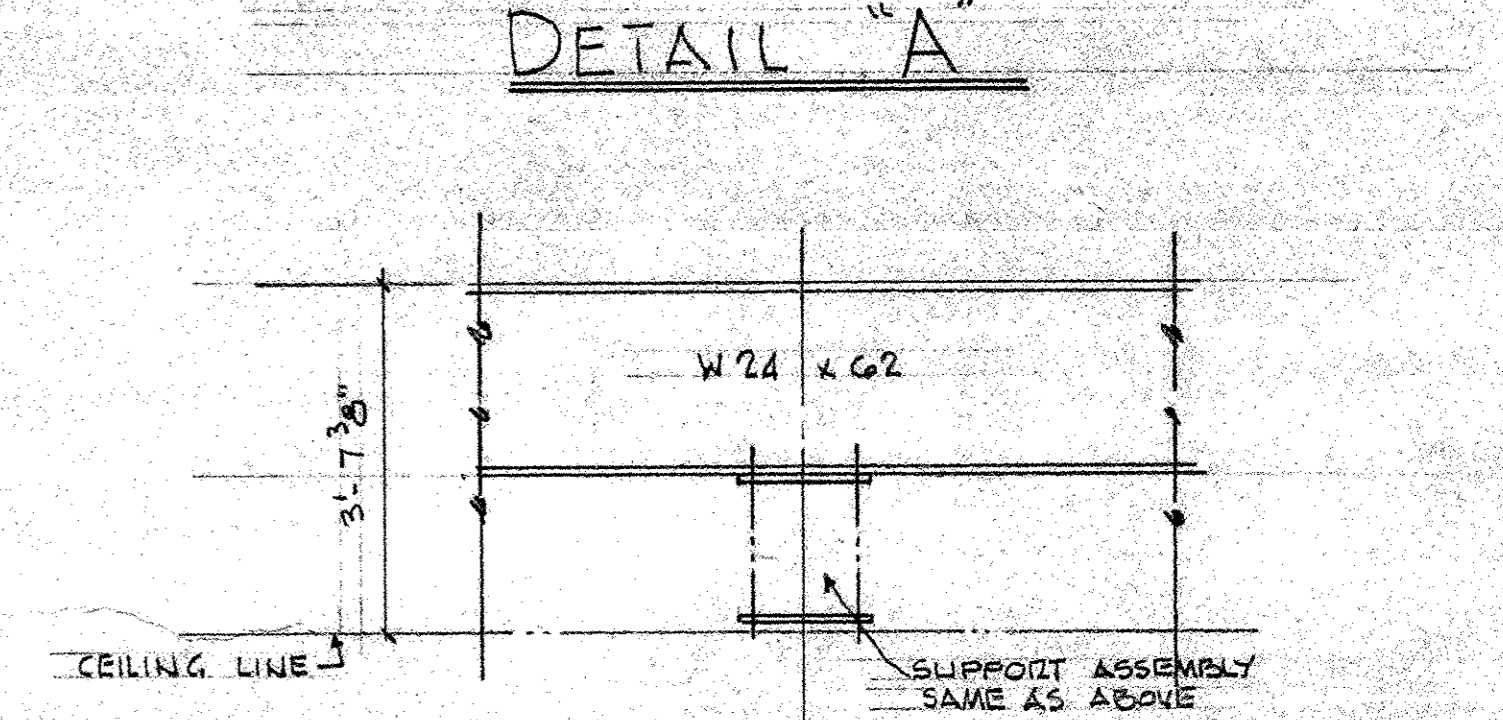
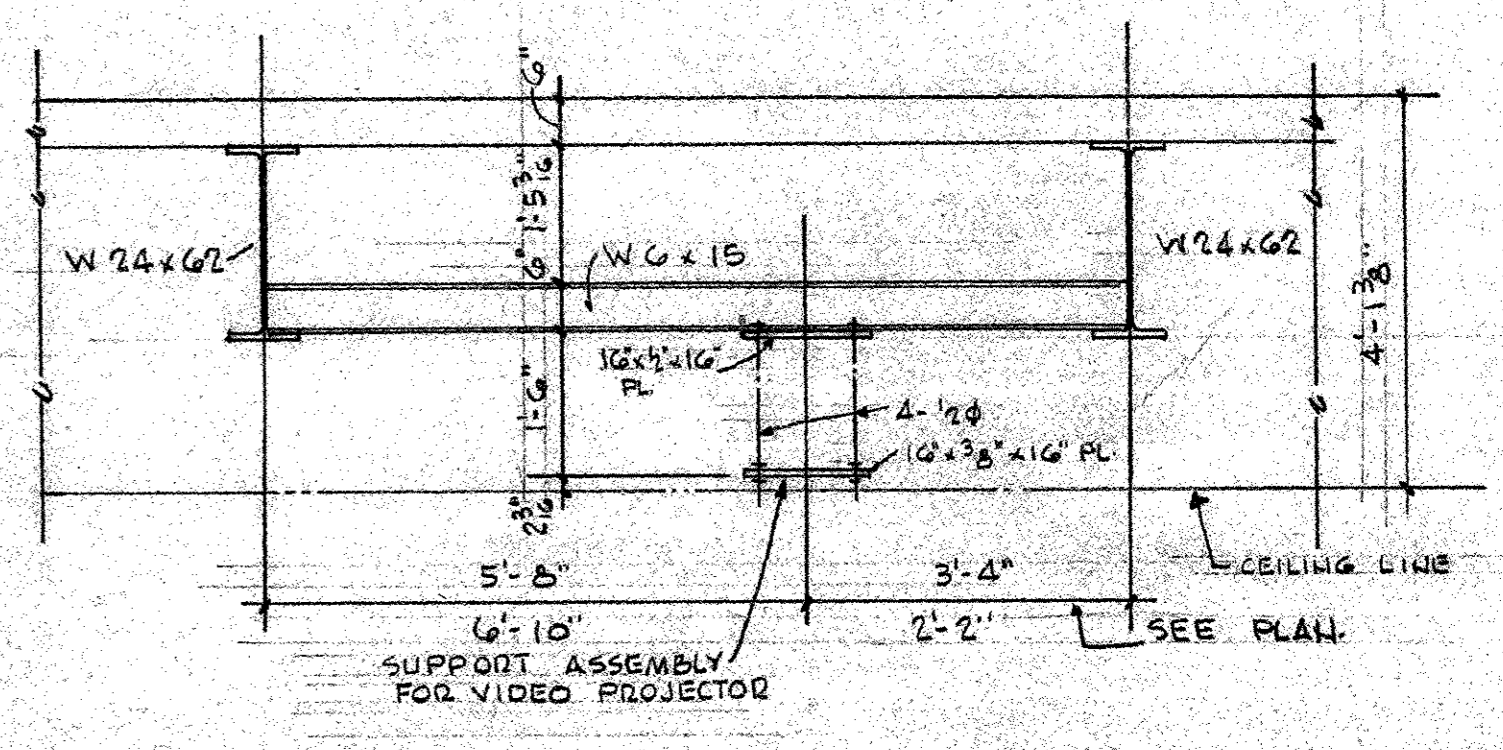
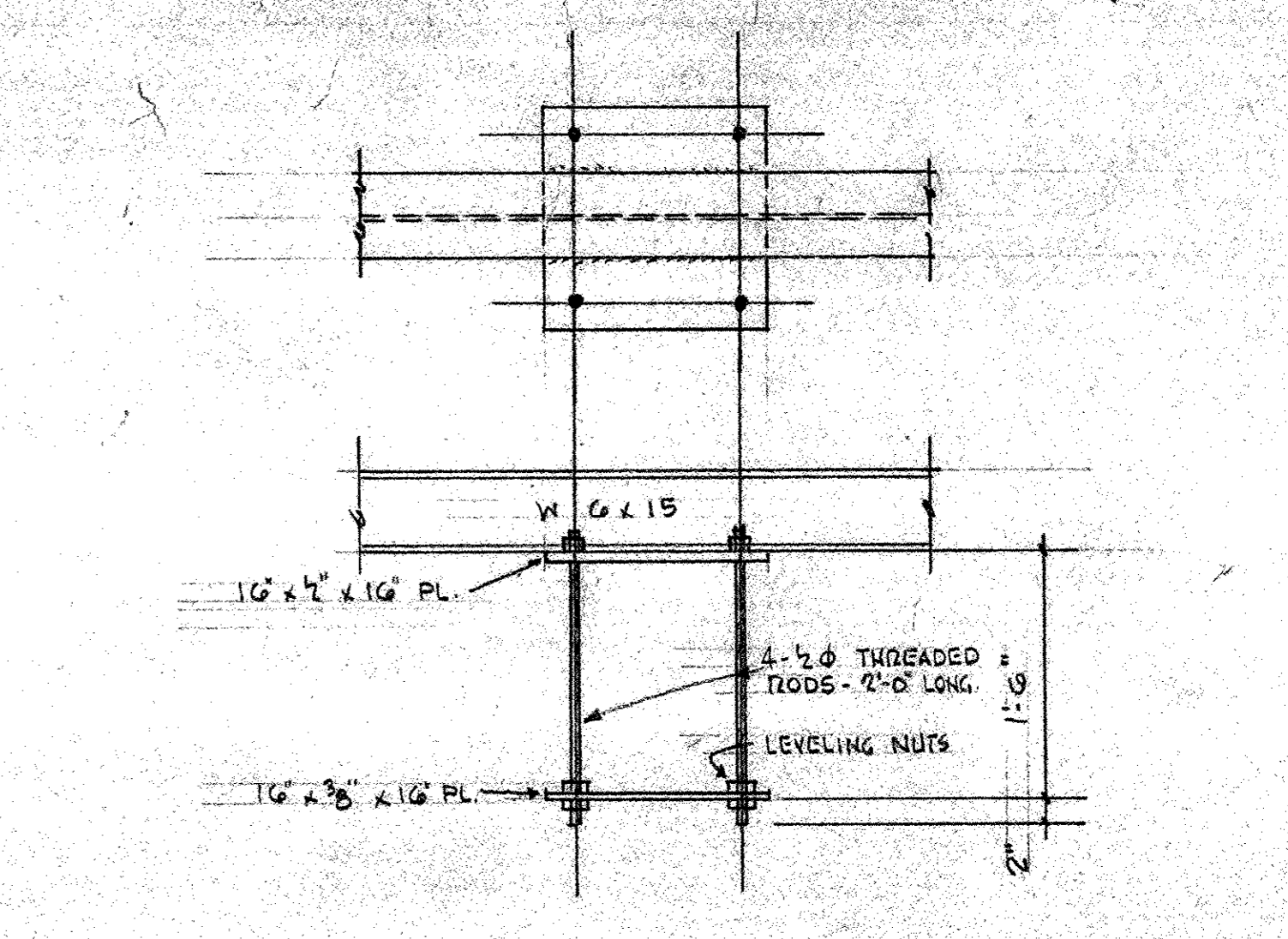
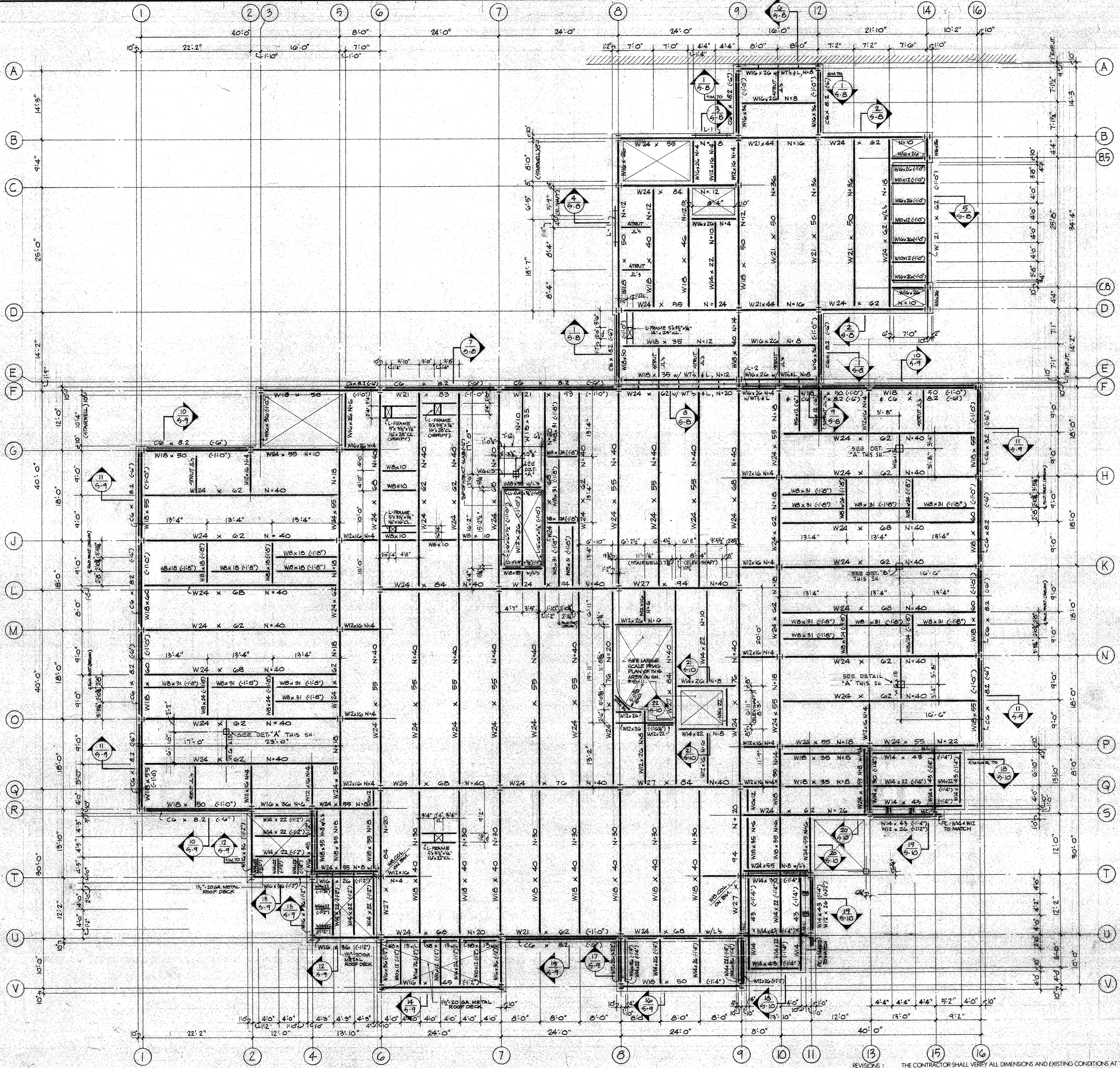
- 1) ALL STRUCTURAL STEEL FABRICATION AND ERECTION SHALL CONFORM TO THE AISC CODE OF STANDARD PRACTICE, ADOPTED SEPT. 1, 1986. FOR ASTM A-36 STEEL.
- 2) ALL SHOP CONNECTIONS WELDED OR BOLTED. ALL FIELD CONNECTIONS BOLTED UNLESS WELDING IS SPECIFICALLY CALLED FOR. ALL BOLTS SHALL BE ASTM A-325 HIGH STRENGTH BOLTS - MIN SIZE 3/4"
- 3) ALL COMPOSITE BEAM CONNECTIONS SHALL BE DESIGNED TO DEVELOP THE BEAM REACTION CALCULATED BY THE FORMULA $R = 0.99 S_e \frac{I_p}{I_s}$
- 4) ALL NON-COMPOSITE BEAM CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE REACTION DUE TO THE FULL BENDING VALUE OF THE BEAM FOR ITS SPAN.
- 5) IN NO CASE SHALL ANY BEAM CONNECTION BE DESIGNED TO SUPPORT LESS THAN 50% OF THE FULL WEB SHEAR VALUE OF THE BEAM.

DESIGN LOADS

- SOIL BEARING CAPACITY - 3000 PSF
- 2ND FLOOR - DEAD LOAD - 80 PSF
LIVE LOAD 100 PSF
- ROOF - DEAD LOAD 35 PSF
SNOW LOAD 30 PSF
- MECHANICAL PENTHOUSE FLOOR - ACTUAL EQUIPMENT LOADS PLUS 150 PSF LIVE+DEAD LOAD
- WIND 20 PSF DIRECT AND/OR UPLIFT

REVISIONS : THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT

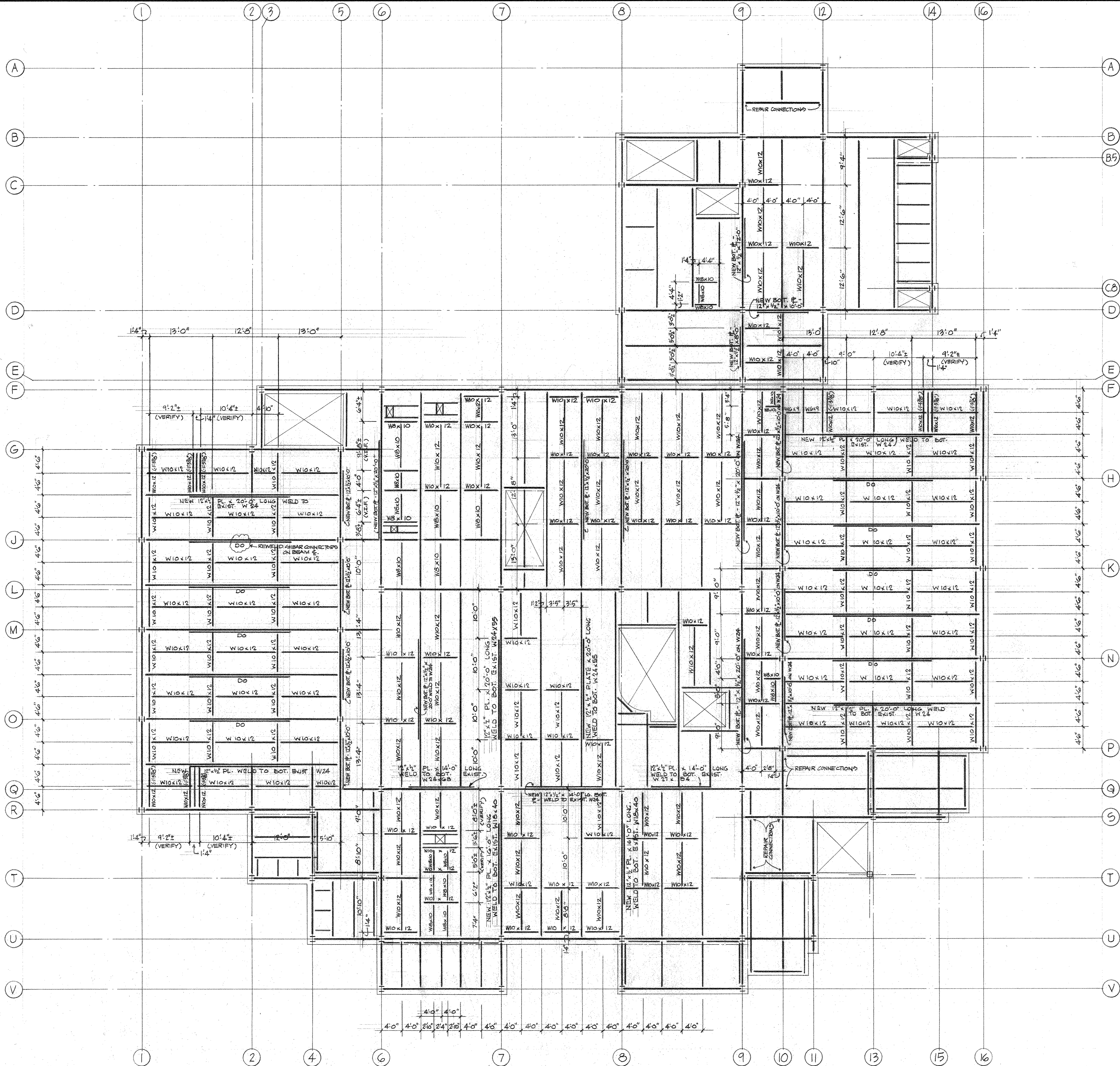
<p>"WILDWOOD" ADDITION TO HALL TECHNOLOGY BUILDING HARRISBURG AREA COMMUNITY COLLEGE</p>		<p>MARTIN L. MURRAY AND ASSOCIATES MURRAY ASSOCIATES ARCHITECTS P.C. 1600 NORTH SECOND ST. HARRISBURG, PA 17102-2499 (717) 234-2581</p>		<p>DRAWN</p>	<p>DATE © NOV 9, 1990</p>
		<p>ENTRANCE AND PLANTER FOUNDATION PLAN</p>		<p>PROJECT NO 2249</p>	<p>DRAWING NO S-2</p>



SECOND FLOOR FRAMING PLAN

SCALE 1/8" = 1'-0"
 ELEVATION TOP OF ALL STEEL TO BE MINUS (6") BELOW FIN. 2ND FLOOR SLAB EL. 399.36' (399' 4 3/8")
 UNLESS INDICATED OTHERWISE
 TYP. FLOOR SLAB CONSIST OF 3" REB. WEIGHT CONC. TOPPING OVER 3" 20GA. GALV. COMPOSITE METAL FLOOR DECK REIN. W/ 2#4 x 12" W/2' PROVIDE #4@12" TOP BARS OVER INTERIOR GIRDERS. SEE TYP. FLOOR SLAB DETAILS ON SH. # 5-11.
 NS INDICATES THE NUMBER OF 3/8" x 4 1/2" LG. HEADED AND SHEAR CONNECTORS TO BE FIELD WELDED TO BA, BEAM OR GIRDER. SEE SH. # 5-11 FOR INSTALLATION & SPACING REQUIREMENTS.

REVISIONS:	THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT	"WILDWOOD" ADDITION TO HALL TECHNOLOGY BUILDING HARRISBURG AREA COMMUNITY COLLEGE SECOND FLOOR FRAMING PLAN	MARTIN L. MURRAY AND ASSOCIATES MURRAY ASSOCIATES ARCHITECTS P.C. 1600 NORTH SECOND ST. HARRISBURG, PA 17102 (717) 234-2581	DRAWN	DATE Nov. 9, 1990
				PROJECT NO 2249	DRAWING NO S-5



SECOND FLOOR - SUPPLEMENTAL FRAMING PLAN

SCALE 1/8" = 1'-0"

WORK THIS DRAWING W/ DRWG. NO. S-5, DATED 11/9/90.

ELEVATION TOP OF STEEL TO BE MINUS (6") BELOW FIN. 2ND FLOOR SLAB, EL. 331'-4 3/8" UNLESS INDICATED OTHERWISE.

BEAM BOTTOM FLANGE REINFORCING #5'S SHALL BE WELDED TO BOTTOM FLANGE OF EXIST. BEAMS W/ 1/4" FILLET WELD @ 6" LONG AT 6" CENTER'S, 18" APART. THE PLATE ENDS SHALL BE WELDED ACROSS THE FULL WIDTH OF THE BEAM FLANGE RESTURNING ON EA. SIDE.

CONNECTIONS TO EXIST. BEAMS SHALL BE STANDARD JL CONNECTIONS TO DEVELOP THE FULL BENDING VALUE OF THE BEAM, WELDED OR BOLTED AS APPLICABLE.

BOT. REIN. #5 NEW BEAMS, CONNECTIONS & DISTURBED AREAS OF EXIST. BEAMS SHALL BE SHOP OR FIELD PAINTED TO MATCH SHOP PAINT ON EXIST. STEEL.

WHERE INDICATED, EXIST. CONNECTIONS SHALL BE REPAIRED BY FILLING ALL HOLES IN BEAMS & CONNECTION JL'S WITH WELD.

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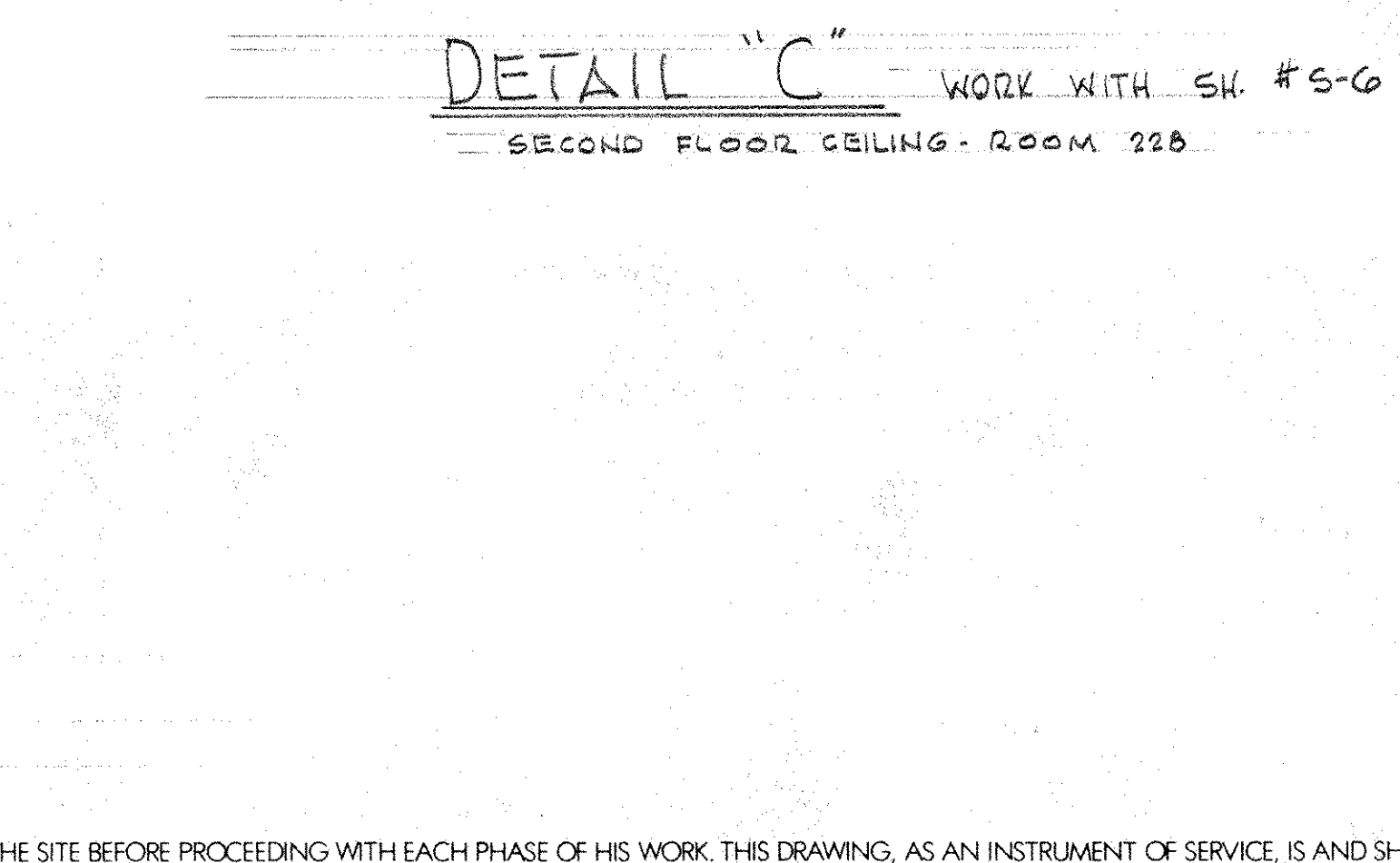
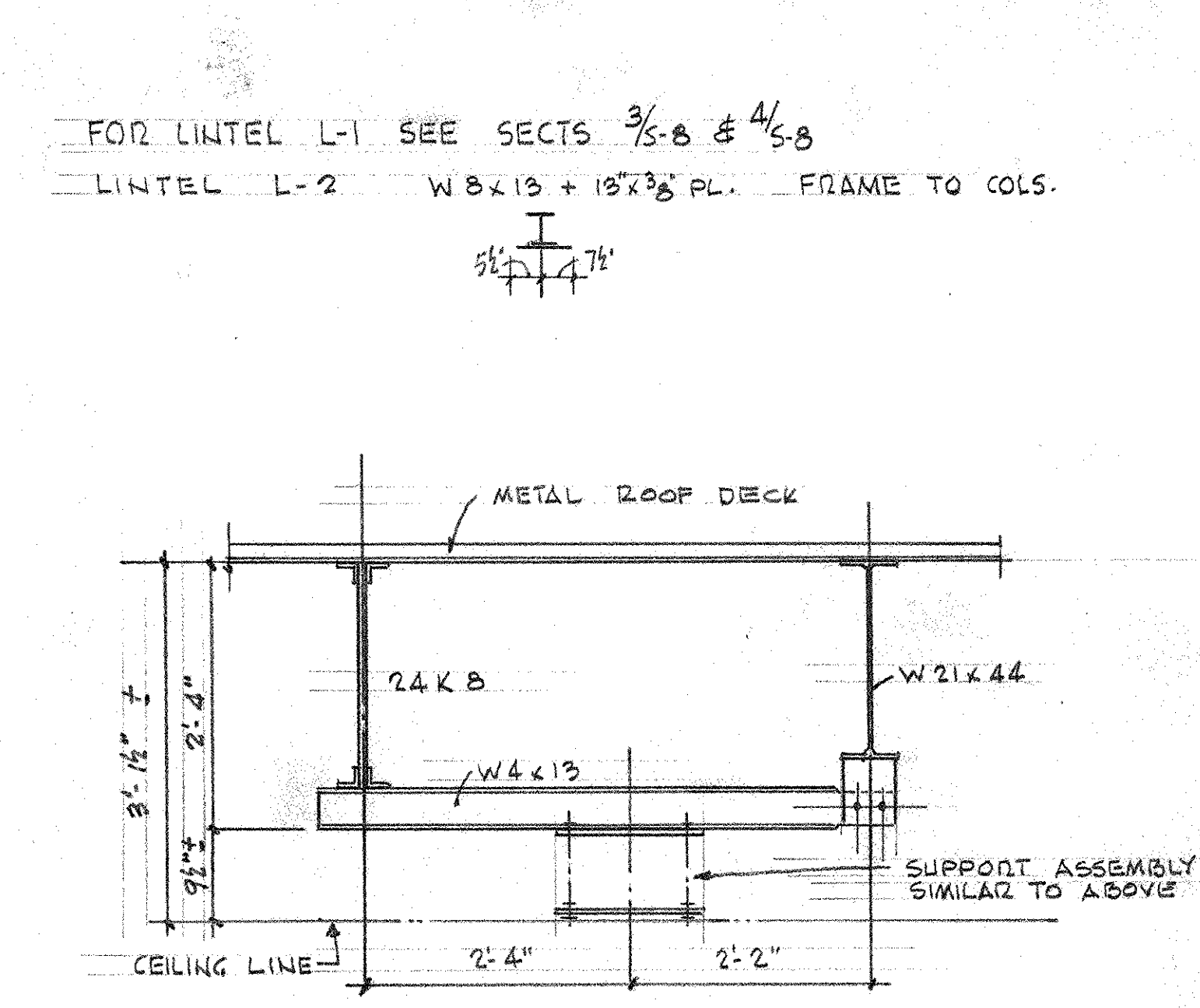
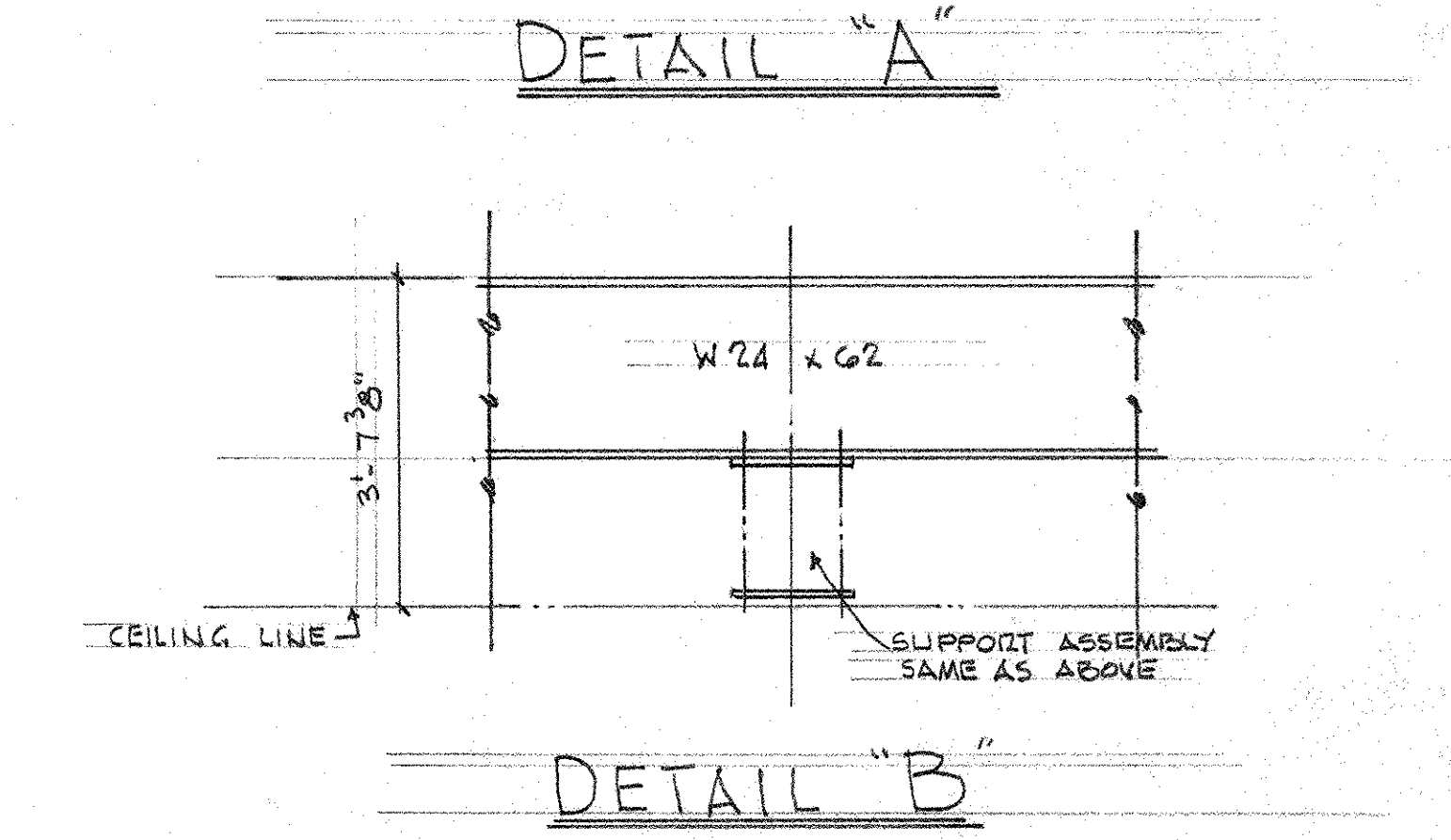
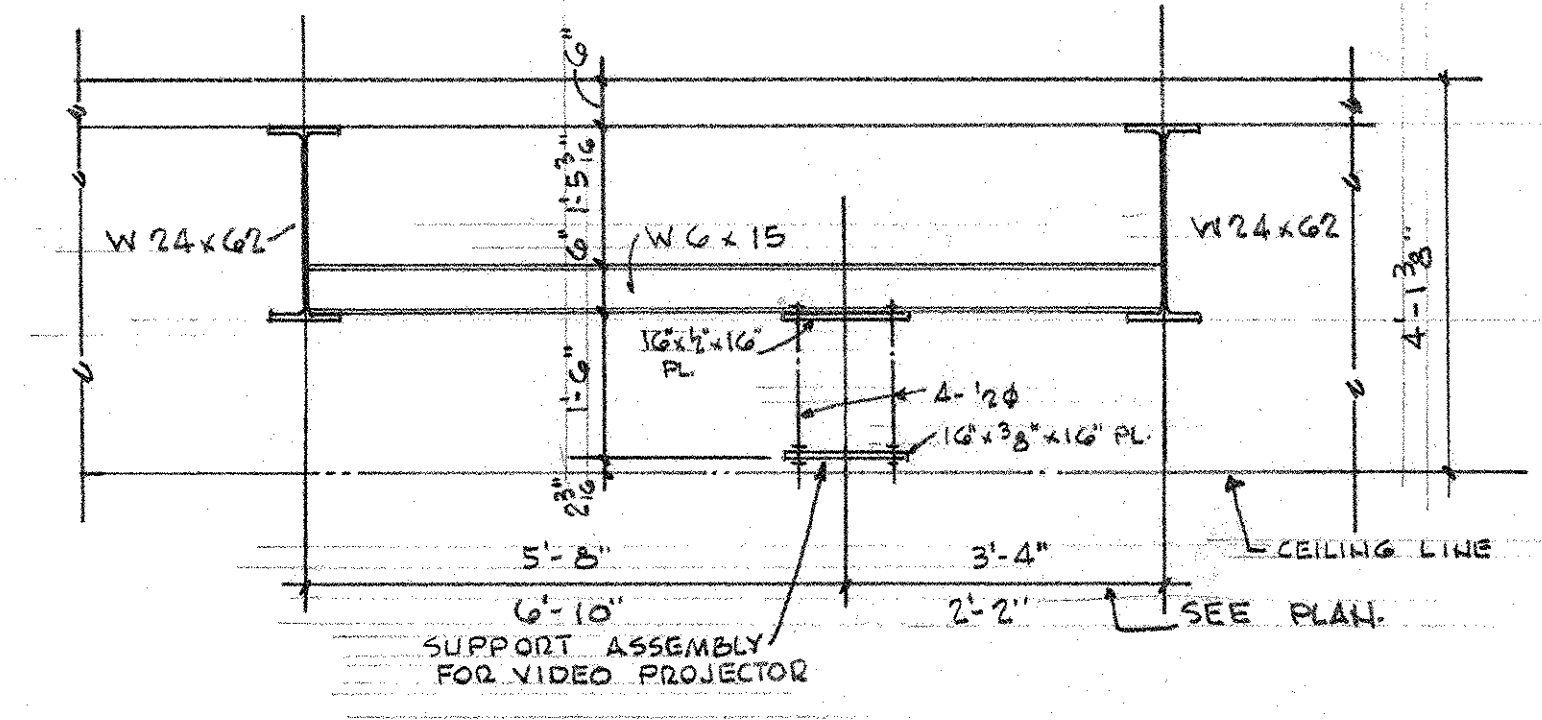
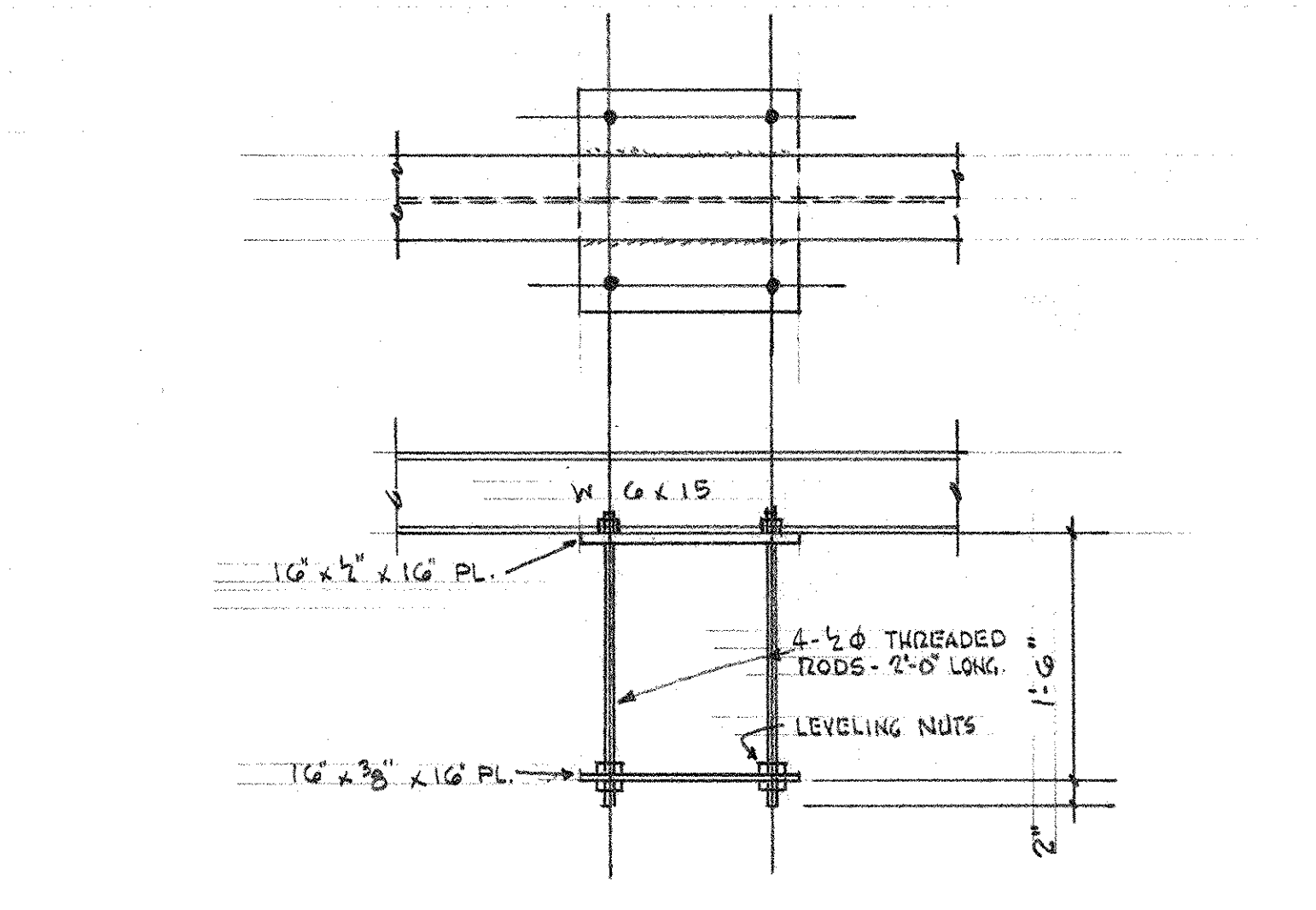
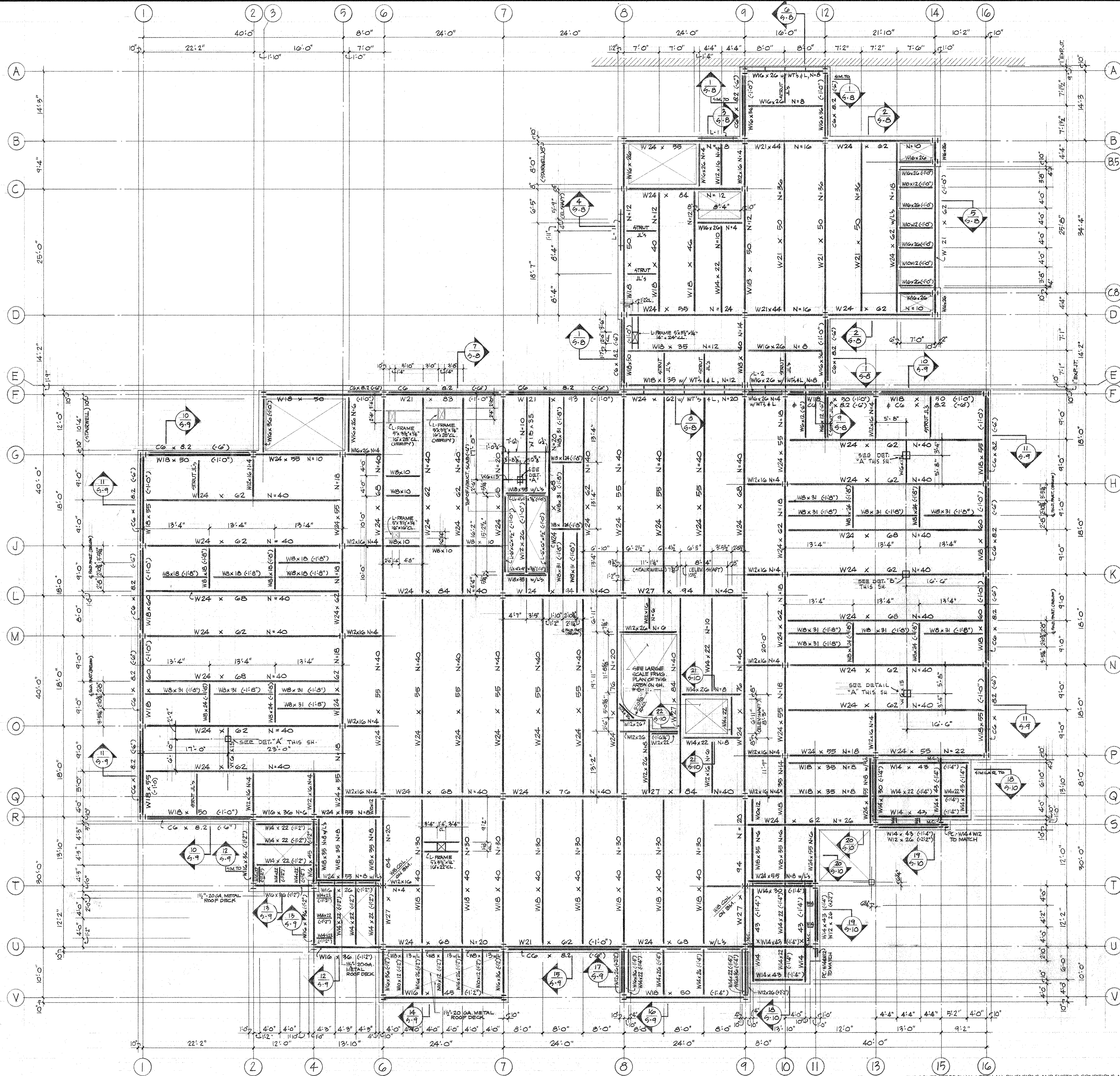
7/3/91	PRELIMINARY ISSUE - AREAS 1-5 & 6; 9-16 & E; 2, 6 & 8-9

"WILDWOOD" ADDITION TO HALL TECHNOLOGY BUILDING
HARRISBURG AREA COMMUNITY COLLEGE

SECOND FLOOR SUPPLEMENTAL FRAMING PLAN

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DRAWN HSM	DATE JULY 16, 1991
PROJECT NO.	DRAWING NO.
2249	S-5.1



REVISIONS: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

SECOND FLOOR FRAMING PLAN

SCALE 1/8"=1'-0"
 ELEVATION TOP OF ALL STEEL TO BE MINUS (6") BELOW FIN. 2ND FLOOR SLAB EL. 399.36' (399.436') UNLESS INDICATED OTHERWISE.
 TYP. FLOOR SLABS CONSIST OF 3" REIN. WEIGHT CONC. TOPPING OVER 3"-20GA. GALV. COMPOSITE METAL FLOOR DECK REIN. W/ 6GA. #12 @ 21" PROVIDE #4@12" TOP BARS OVER INTERIOR GIRDER. SEE TYP. FLOOR SLAB DETAILS ON SH. # 2-11.
 N-1 INDICATES THE NUMBER OF 3/8" x 4 1/2" LG. HEADED STUD SHEAR CONNECTORS TO BE FIELD WELDED TO BA, BEAM OR GIRDER. SEE SH. # 2-11 FOR INSTALLATION & SPACING REQUIREMENTS.

"WILDWOOD" ADDITION TO HALL TECHNOLOGY BUILDING
 HARRISBURG AREA COMMUNITY COLLEGE
 SECOND FLOOR FRAMING PLAN

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