



## **ADDENDUM #1**

**October 30, 2012**

Re: Harrisburg Area Community College  
Central Administration – Wildwood Conference Center Renovations  
Phase 1 - Demolition  
Solicitation # RFB13-10

From: Eastern PCM, LLC  
Construction Manager – HACC  
645 N. 12<sup>th</sup> Street, Suite 200  
Lemoyne, PA 17043

To: All Planholders

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This Addendum is hereby made part of the Plans and Project Manual dated October 17, 2012 for the above referenced project. The provisions of this Addendum are intended to supplement the provisions of the Plans and Project Manual and/or supersede them where contradictory thereto.

This Addendum contains changes to the requirements of the Plans and Project Manual. Such changes shall be incorporated into the Plans and Project Manual and shall apply to work with the same meaning and force as if they had been included in the original Plans and Project Manual. Where this Addendum modifies a portion of a paragraph or phrase of the Project Manual, the remaining unmodified portion of the paragraph or phrase shall remain in force.

The conditions and terms of the Plans and Project Manual shall govern work described in this Addendum. Whenever the conditions of work, or the quality or quantity of materials or workmanship are not fully described in this Addendum, the conditions of work etc. included in the Plans and Project Manual for similar items of work shall apply to the work described in this Addendum. If no similar items of work are included in the Plans and Project Manual, the quality of material and workmanship shall be subject to the written acceptance of the Architect.

### **1.1 PRE-BID MEETING MINUTES**

Meeting minutes from the Pre-Bid Meeting held on October 23, 2012 are attached and are a part of this Addendum. In the event of a conflict between the information contained in the Pre-Bid Meeting Notes and the Drawings, Specifications and responses to questions contained in this Addendum, the latter shall take precedence.

### **1.3 CHANGES TO THE DRAWINGS**

- A. Cover Sheet: DELETE "P4.2 – Large Scale Penthouse Demolition Plan – Section B – Plumbing."

- B. Drawing A0.1: REPLACE this drawing in its entirety.
- C. Drawing X2.3: REPLACE this drawing in its entirety.
- D. Drawing X2.4: REPLACE this drawing in its entirety.
- E. Drawing X2.5: REPLACE this drawing in its entirety.
- F. Drawing X2.6: REPLACE this drawing in its entirety.

#### **1.4 ATTACHMENTS**

- A. Drawing A0.1 – Drawing Index and Notes (revised 10/26/12)
- B. Drawing X2.3 – Large Scale First Floor Demolition Plan – Section A (revised 10/26/12)
- C. Drawing X2.4 – Large Scale First Floor Demolition Plan – Section B (revised 10/26/12)
- D. Drawing X2.5 – Large Scale Second Floor Demolition Plan – Section A (revised 10/26/12)
- E. Drawing X2.6 – Large Scale Second Floor Demolition Plan – Section B (revised 10/26/12)
- F. Items Scheduled for Salvage: Identifies what Fixtures, Furniture, and Equipment will be removed prior to the start of demolition and what items the Contractor will be required to remove and turn over to the Owner.
- G. Mumma Hall/Wildwood Conference Center Fire Alarm System Record Drawings, Dated 10/31/11: for reference only.

**END OF ADDENDUM**



Please sign and return this page, via fax, to Eastern PCM, LLC at **(717) 233-1666** indicating receipt of this Addendum.

**Central Administration – Wildwood Conference Center Renovations  
Phase 1 – Demolition**

Addendum #\_\_\_\_\_ has been received.

**Company:** \_\_\_\_\_  
Print Company Name

**Received By:** \_\_\_\_\_  
Print Name Signature

**Date:** \_\_\_\_\_

**Please check one:**

\_\_\_\_\_ We are bidding as a prime contractor  
\_\_\_\_\_ We are not bidding  
\_\_\_\_\_ We are a sub-contractor

**HACC, Central Pennsylvania's Community College  
Central Administration – Wildwood Conference Center Renovations  
Phase I – Demolition**

Pre-Bid Meeting

October 23, 2012  
9:00 AM

**Meeting Minutes**

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**Attendees**

Garry Crider – HACC	Phil Goth – R. S. Mowery
Joe Wojtysiak – HACC	Don Beinhaur – McCoy Brothers
Larry Livingston – HACC	Darren Bowman - Servpro
Karl Wiest – HACC	Todd Quigley – PCS
Benedict Dubbs – Murray Associates Architects	Rick Hadysid – Best Wash, Inc.
Mike Jacobs – Brinjac	David Chonoski – Eastern PCM, LLC (EPCM)
David Booth – Neuber Environmental	Justin Kovaleski – EPCM
James Klemer – Empire Wrecking Company	Sarah Centini – EPCM (author)

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1.0 Mr. Kovaleski welcomed all attendees.

1.1 Introduction of Team

a) Owner	<b>Harrisburg Area Community College</b> Joseph Wojtysiak      Campus Senior Director, Facilities Manager
b) Architect	<b>Murray Associates Architects, P.C.</b> Benedict Dubbs      Principal
c) Engineer	<b>Brinjac Engineering, Inc.</b> Michael Jacobs      Senior Engineering Manager
d) Construction Manager	<b>Eastern PCM, LLC</b> Bill Morgan      Project Executive Justin Kovaleski      Project Manager David Chonoski      Construction Manager

1.2 Mr. Kovaleski inquired if all attendees received the Bid Documents. All attendees confirmed that Bid Documents were received. Mr. Kovaleski noted that Bid Documents were available for purchase at the meeting. The Bid Form is made up of four documents, all of which must be filled out completely. A Bid Security is required in the amount of 10% of the total bid. A Non-Collusion Affidavit and a MBE/WBE Utilization Form are required.

1.3 Mr. Kovaleski instructed Bidders that the following forms must be filled out and submitted with the bid: Bid Form, Non-Collusion Affidavit, MBE/WBE Utilization Form and Bid Security.

1.4 Schedule

Bid Date	Thursday, November 8, 2012 at Penn Center - Room 223, no later than 2:00 PM.
Contract Award	December 5, 2012; subject to Board of Trustees Approval
Construction Start	January 7, 2012; subject to the execution of the contract
Substantial Completion	April 5, 2013

- 1.5 All questions are to be directed to the office of the Construction Manager in writing via fax or e-mail (attn: Justin Kovaleski): Fax (717) 233-1666, E-mail: [epcm@easternpcm.com](mailto:epcm@easternpcm.com). The last day for questions is Monday, November 5, 2012 at 12:00 PM.
- 1.6 Addendum #1 will be issued via email on or about Friday, October 26, 2012. Additional Addenda will be issued as required.
- 1.7 This is a Prevailing Wage Rate Project. Rates can be found in the Project Manual, Specification 00820.
- 1.8 It is the intention of the Design Team to acquire LEED Silver Certification. Any LEED documentation shall be sent to EPCM and will then be forwarded to Murray Associates Architects. Mr. Kovaleski noted that it will be the responsibility of the Contractor to coordinate all packaging, transportation and documentation of recycled material. A clarification will be made via Addendum stating who will be responsible for the removal of specific materials and FF&E items from the Wildwood Conference Center.
- 1.9 The Demolition Permit for Phase I: Demolition will be obtained by and paid for by the Owner. All trade specific permits (i.e. Electrical, Plumbing, etc.) are to be obtained and paid for by applicable contractors in accordance with jurisdictional requirements.
- 1.10 Project Overview

The work will be performed under a single prime contract consisting of the selective demolition of 35,000 SF within the HACC Wildwood Conference Center, including mechanical, plumbing, and electrical demolition. Work includes requirements for recycling, salvaging and reuse of demolition waste and existing materials and equipment as specified. Specification Section 01524 – Construction Waste Management includes specific administrative and procedural requirements for this work.

Demolition work pertaining to mechanical, electrical and plumbing shall include the following: disconnecting utilities (gas, electric, water, telecom) by Contractor, maintaining select heat pumps for temporary heat and removing all toilets and fixtures.

- 1.11 All temporary construction entrance, temporary dust barriers and partitions, and temporary signage shall be in accordance with the Bid Documents or be provided as required.
- 1.12 All occupied areas must be left in existing condition.

- 1.13 Designated Contractor parking shall be established prior to the start of the project.
- 1.14 It was inquired if the Contractors are required to hire minority or women owned businesses. Mr. Kovalski clarified that HACC requires the MBE/WBE Utilization Form to be filled out and for Contractors to solicit minority or women owned businesses but that those businesses are not required to be utilized.  
**Post Meeting Note:** HACC encourages the use of minority and women owned businesses as stated in the Advertisement for Bid.
- 1.15 It was inquired if there is a weight limit on the bridge connecting the site of the Wildwood Conference Center and the commuter parking lot. Mr. Chonoski noted that there is a weight limit. He also noted if the concern is delivery of heavy machinery that there is a service road leading to the Wildwood Conference Center from Alumni Drive that can handle such deliveries.
- 1.16 It was noted that the electrical room in the penthouse will remain through the demolition phase.
- 1.17 Contractors were advised that the overall project will be executed in three phases; Phase 1 – Demolition, Phase 2 – Roofing/Fenestration, and Phase 3 – Renovation. This bid is for phase 1 only.
- 1.18 A site tour was conducted. The conference room adjacent to the toilet rooms on the first floor, the kitchen on the second floor and one of the Seminar areas were occupied and could not be inspected during the site tour.
- 1.19 It was inquired whether an asbestos survey had been conducted for the building. It is not expected that hazardous materials will be encountered during the work.
- 1.20 Refer to the plans and specifications for any specific requirements related to demolition of IT cabling.
- 1.21 Mr. Chonoski addressed some known items to be removed by the Contractor vs. the Owner during the walk-thru. A complete list of these items will be provided via Addendum.
- 1.22 Mr. Chonoski showed Bidders where access to Hall Tech will be adjacent to the construction zone. He stressed the importance of safety measures within this area.
- 1.23 Mr. Chonoski noted that heavy equipment/machinery shall be delivered before 7:00 am.
- 1.24 Mr. Chonoski showed Bidders accessibility for delivery of equipment via a loading dock that is adjacent to one of the Seminar Suites.
- 1.25 Mr. Chonoski noted that anything that is to remain must be protected throughout the demolition phase.
- 1.26 The kitchen on the second floor was occupied and was not inspected. Mr. Chonoski did show Bidders the service elevator within the second floor kitchen area.

1.27 Additional site visits should be coordinated through Eastern PCM, LLC.

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Respectfully Submitted,  
Sarah E. Centini, Eastern PCM, LLC

The above summations are the interpretation of the author as to the items discussed and the decisions reached. Corrections or additions to these minutes are to be made in writing and sent to the attention of the Author no later than 5 days after receipt; otherwise, these minutes will stand as written.

cc: All Attendees

ARCHITECTURAL DRAWING LIST

	COVER SHEET
A0.1	DRAWING INDEX AND NOTES
X2.1	FIRST FLOOR PLAN - COMPOSITE - DEMOLITION
X2.2	SECOND FLOOR PLAN - COMPOSITE - DEMOLITION
X2.3	LARGE SCALE FIRST FLOOR DEMOLITION PLAN - SECTION A
X2.4	LARGE SCALE FIRST FLOOR DEMOLITION PLAN - SECTION B
X2.5	LARGE SCALE SECOND FLOOR DEMOLITION PLAN - SECTION A
X2.6	LARGE SCALE SECOND FLOOR DEMOLITION PLAN - SECTION B

GENERAL NOTES - DEMOLITION

- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO EXAMINE THE EXISTING BUILDING DURING THE COURSE OF DEMOLITION AND IMMEDIATELY ADVISE THE ARCHITECT AND OWNER'S REPRESENTATIVE OF ANY AREAS WHERE THE STRUCTURE EXHIBITS SIGNS OF DISTRESS OR FAILURE.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE IMMEDIATE VICINITY OF DEMOLITION ACTIVITIES SO AS TO PREVENT DAMAGE TO THEM. SHOULD ANY DAMAGE TO SUCH UTILITIES OCCUR THE CONTRACTOR SHALL BE REQUIRED TO REPAIR SUCH DAMAGE AT THEIR OWN EXPENSE TO THE SATISFACTION OF THE OWNER.
- REMOVE AND SALVAGE: ITEMS TO BE REMOVED AND SALVAGED REMAIN THE OWNER'S PROPERTY. GENERAL CONTRACTOR TO REMOVE, CLEAN AND PACK OR CRATE ITEMS TO PROTECT AGAINST DAMAGE. IDENTIFY CONTENTS OF CONTAINERS AND DELIVER TO OWNER'S DESIGNATED STORAGE AREA ON CAMPUS.
- REMOVE AND INSTALL: REMOVE ITEMS INDICATED: CLEAN, SERVICE AND OTHERWISE PREPARE THEM FOR REUSE, STORE AND PROTECT AGAINST DAMAGE.
- EXISTING TO REMAIN: PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY THE ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND THEN CLEANED, REFURBISHED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS.
- RIGHT OF FIRST REFUSAL: THE OWNER HAS FIRST RIGHT OF REFUSAL OF ALL MATERIALS AND BUILDING COMPONENTS. NO ITEMS SHALL BE REMOVED FROM THE SITE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT, OWNER'S REPRESENTATIVE OR OWNER.
- OWNER SHALL REMOVE ALL LOOSE SUPPLIES, FURNITURE, FURNISHINGS AND ARE NOT LIMITED TO THE FOLLOWING: EQUIPMENT, RACKS, SHELVING, OVERHEAD PROJECTORS, FURNITURE SYSTEMS, CHAIRS, FILE CABINETS AND DEFIBRILLATORS PRIOR TO START OF DEMOLITION.
- REFER TO GENERAL DEMOLITION NOTES FOR CUTTING, PATCHING AND MAINTAINING OF THE STRUCTURAL INTEGRITY OF REMAINING BUILDING ELEMENTS.
- COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION FOR POLLUTION CONTROL, AND HAZARDOUS/TOXIC MATERIALS. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY OR PRESENCE OF POLYCHLORINATED BIPHENYLS (PCBS) OR ANY OTHER TOXIC SUBSTANCES.
- FOLLOW ALL LEED DOCUMENTATION REQUIREMENTS AS INDICATED IN THE SPECIFICATIONS.
- EXISTING STATUE AND BENCH TO REMAIN. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE TO ERECT TEMPORARY ENCLOSURE TO ELIMINATE DAMAGE. ANY DAMAGE TO BENCH OR STATUE SHALL BE THE DEMOLITION CONTRACTORS RESPONSIBILITY.
- ALL SOLID CHERRY RAISED PANEL DOORS, MAINCOAT, WALL PANELING, CHAIR RAIL AND BASE SHALL BE REMOVED, PALLETIZED AND DELIVERED TO OWNERS WAREHOUSE ON CAMPUS.
- DEMOLITION CONTRACTORS ARE RESPONSIBLE FOR COORDINATING, PROCESSING, REMOVAL AND PALLETIZING, SHIPPING COSTS RELATING TO THE RECYCLING. RE-ENTRY PROGRAM WITH INTERFACE CARPETING. CONTACT BARK MONCRIEF (717-475-9521) TO COMPLETE DOCUMENTATION AND SCHEDULE PICK UP ON CARPET MATERIALS. TILE RECYCLING PROGRAMING BY GARDEN STATE TILE. CONTACT LIZ MATTERS (717-285-2649) TO COMPLETE DOCUMENTATION AND SCHEDULE PICK UP ON PORCELAIN TILE MATERIALS.
- DEMOLITION CONTRACTORS ARE RESPONSIBLE FOR COORDINATING, PROCESSING, REMOVAL AND PALLETIZING, SHIPPING COSTS RELATING TO THE RECYCLING OF CEILING TILE, GRID AND HANGING WIRE. COORDINATE, CONTACT AND PICK UP WITH OWNER.
- PROVIDE PROTECTION AS REQUIRED FOR STAINLESS STEEL ELEVATOR DOORS AND FRAME.
- PROVIDE COMPACTED CLEAN STONE THAT SHALL BE FLUSH WITH THE EXISTING GRADE IN THE AREA OF THE EXCAVATION OF THE FOOTINGS AND FOUNDATIONS OF THE SHED. PATCH AND REPAIR THE EXISTING ASPHALT AFTER REMOVAL OF ITEMS.
- DEMOLITION CONTRACTOR SHALL PROTECT EXISTING PAINTED GYPSUM WALL, HANDRAIL, RUBBER TREADS & LANDINGS, PAINTED STRINGERS & RISERS AS REQUIRED THROUGH OUT THE ENTIRE PHASE.
- DEMOLITION CONTRACTOR SHALL PROTECT EXISTING HANDRAIL, PICKET SYSTEM, RUBBER TREADS & LANDINGS AND PAINTED STRINGERS & RISERS AS REQUIRED THROUGH OUT THE ENTIRE PHASE.
- DEMOLITION CONTRACTOR SHALL PROTECT EXISTING GLASS RAILING, METAL CAP, WOOD PANELING, EXPOSED MASONRY AND WOODEN HANDRAIL AS REQUIRED THROUGH OUT THE ENTIRE PHASE.
- REMOVAL OF ROLLED GOOD CARPETING AND CARPET TILES SHALL INCLUDE ALL ADHESIVES, TRANSITION STRIPS, INSTALLATION ACCESSORIES AND THRESHOLDS.
- DEMOLITION OF THE PORCELAIN TILE SHALL ALSO INCLUDE ALL GROUT AND SETTING MATERIALS. ALL MATERIALS SHALL BE REMOVED DOWN TO THE EXISTING CONCRETE SLAB.
- DEMOLITION CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL WOOD PANELING AS REQUIRED THROUGH OUT ENTIRE PHASE.

GENERAL DEMOLITION LEGEND

DESIGNATES EXISTING ITEMS TO REMAIN.

DESIGNATES EXISTING ITEMS TO REMOVE.

INDICATES CONSTRUCTION BARRIER (5/8" GYPSUM BOARD, 3 5/8" 20 GA. STEEL STUD @ 16" O.C. W/ 3" SOUND ATTENUATION BLANKET). PARTITION TO EXTEND EXISTING FLOOR OR ROOF DECK. PLACE PAINTER'S BLUE TAPE AT THE TOP AND BOTTOM OF THE PARTITION (ON THE CLEAN SIDE); ALSO AT ALL VERTICAL GYPSUM BOARD JOINTS.

INDICATES TEMPORARY 6'-0" X 7'-0" SOLID CORE WOOD DOOR AND HOLLOW METAL FRAME WITH DOOR HARDWARE - (1 1/2 PR. HINGES, CLOSER AND LOCKSET). PROVIDE 2 SETS OF KEYS TO THE OWNERS REPRESENTATIVE AND 1 SET OF KEYS TO THE COLLEGE.

INDICATES REQUIRED AREA OF FLOOR PROTECTION.

DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
1	REMOVE EXISTING FOLDING PARTITION TRACK SYSTEM AND BULKHEAD.
2	REMOVE EXISTING DOOR, FRAME AND HARDWARE; SEE GENERAL NOTE #12.
3	REMOVE EXISTING PARTITION IN ITS ENTIRETY.
4	REMOVE EXISTING CHAIR RAILS.
5	REMOVE PORTION OF PARTITION.
6	REMOVE EXISTING FOOD SERVICE EQUIPMENT; BY OWNER.
7	REMOVE EXISTING FLOORING. SEE GENERAL NOTE #13.
8	REMOVE EXISTING CEILING SYSTEM. SEE GENERAL NOTE #14, 20 AND 21.
9	REMOVE EXISTING PLUMBING FIXTURES; SEE PLUMBING DRAWINGS.
10	REMOVE EXISTING TOILET PARTITIONS.
11	REMOVE EXISTING TOILET ACCESSORIES. TURN OVER TO OWNER.
12	REMOVE EXISTING DOOR; SEE GENERAL NOTE #12.
13	REMOVE EXISTING COLUMN ENCLOSURE.
14	REMOVE EXISTING FURNITURE, ARTWORK AND PLANTERS; BY OWNER.
15	REMOVE EXISTING FIRE EXTINGUISHER CABINET. TURN OVER TO OWNER.
16	REMOVE EXISTING FRAME.
17	REMOVE EXISTING COAT RACK AND SHELF.
18	REMOVE EXISTING BULKHEAD ABOVE.
19	REMOVE EXISTING CASEWORK.
20	REMOVE EXISTING WINDOW TREATMENTS & HARDWARE.
21	REMOVE EXISTING WALK-OFF MATS.
23	REMOVE EXISTING OVERHEAD COILING DOOR, BULKHEAD AND ALL ASSOCIATED HARDWARE/SUPPORTS.
24	REMOVE EXISTING CORNER GUARDS.
25	REMOVE EXISTING BASE.
26	REMOVE EXISTING SOUND/PAK PANELS / TRACKSTRIP / WOOD CHAIR RAIL / PLYWOOD PANELING / WOOD BASE SYSTEM; SEE GENERAL NOTE #12.
27	REMOVE EXISTING DRYWALL ENCLOSURE AROUND BEAM.
28	REMOVE EXISTING ELECTRICAL FLOOR BOXES. SEE ELECTRICAL DRAWINGS.
29	REMOVE EXISTING SIGNAGE; BY OWNER.
30	REMOVE EXISTING RAISED PLATFORM.
31	REMOVE EXISTING RECESSED CEILING MOUNTED PROJECTOR SCREENS. TURN OVER TO OWNER.
32	REMOVE EXISTING WATER COOLER.
33	REMOVE EXISTING HOLLOW METAL WINDOW SYSTEM.
34	REMOVE EXISTING WALK-IN COOLER/FREEZER AND ALL ASSOCIATED PIPING AND EQUIPMENT. REFER TO ELEC/PLUMB/MECH DRAWINGS.
35	REMOVE EXISTING SHELVING.
36	REMOVE EXISTING CURTAIN AND ROD.
37	REMOVE EXISTING EQUIPMENT; REFER TO ELECTRICAL DRAWINGS.
38	REMOVE EXISTING ACCOUSTICAL WALL PANELS.
39	REMOVE EXISTING TILE RISERS, TREADS AND LANDINGS. SEE GENERAL NOTE #13 AND 21.
40	REMOVE EXISTING ELEVATOR WALL PANELS.
41	REMOVE EXISTING ELEVATOR FLOORING.
42	REMOVE EXISTING ELEVATOR CEILING.
43	REMOVE EXISTING ELEVATOR HANDRAILS.
44	REMOVE EXISTING BRICK AROUND COLUMN ENCLOSURE.
45	REMOVE EXISTING FIRE SUPPRESSION SYSTEM; SEE MECHANICAL DRAWINGS.
46	REMOVE EXISTING PENDANT LIGHT FIXTURE.
47	REMOVE EXISTING FLOOR DRAINS; SEE PLUMBING DRAWINGS.
48	REMOVE EXISTING CEILING MOUNTED MIRROR AND HARDWARE.
49	REMOVE EXISTING SOUND/PAK PANELS / WOOD TRIM / PLYWOOD PANELING / WOOD BASE SYSTEM; SEE GENERAL NOTE #12.
50	REMOVE EXISTING ACCOUSTICAL CEILING AT STAIRS. KEEP EXISTING GYPSUM BOARD SOFFIT AND CEILING; SEE GENERAL NOTE #14.
51	REMOVE EXISTING TVS, BRACKETS AND ASSOCIATED HARDWARE; BY OWNER.
52	REMOVE EXISTING FLOOR DRAINS; REFER TO PLUMBING DRAWINGS.
53	REMOVE EXISTING WHITEBOARDS, TACKBOARDS, TACKSTRIPS, MAP RAILS AND DISPLAY CASES; BY OWNER.
54	REMOVE EXISTING LOCKERS; BY OWNER.
55	REMOVE EXISTING PIN LETTERING. TURN OVER TO OWNER.
56	REMOVE EXISTING SKYLIGHT WINDOW TREATMENT.
57	REMOVE EXISTING COUNTERTOP; STORE FOR LATER RE-INSTALLATION.
58	REMOVE EXISTING GLASS SMOKE CURTAIN.
59	REMOVE EXISTING SHED FRAMING, WALL PANELS, ROOFING SYSTEM, CONCRETE SLAB AND FOUNDATION SYSTEM IN ITS ENTIRETY. SEE GENERAL NOTE #16.
60	REMOVE EXISTING BLOCK/BRICK WALL DOWN TO EXISTING CONCRETE SLAB.
61	REMOVE AND RELOCATE EXISTING MECHANICAL UNIT. REFER TO MECHANICAL DRAWINGS.

revisions		
no.	date	description
1	10/26/12	ADDENDUM #1

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MURRAY ASSOCIATES ARCHITECTS, P.C.

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717.234.1201 (data)

ALTERATIONS TO  
WILDWOOD  
CONFERENCE CENTER  
HARRISBURG AREA  
COMMUNITY COLLEGE  
HARRISBURG, PA

DRAWING INDEX AND  
NOTES

EARLY DEMOLITION  
PACKAGE

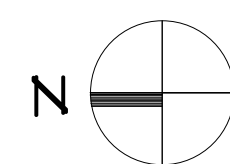
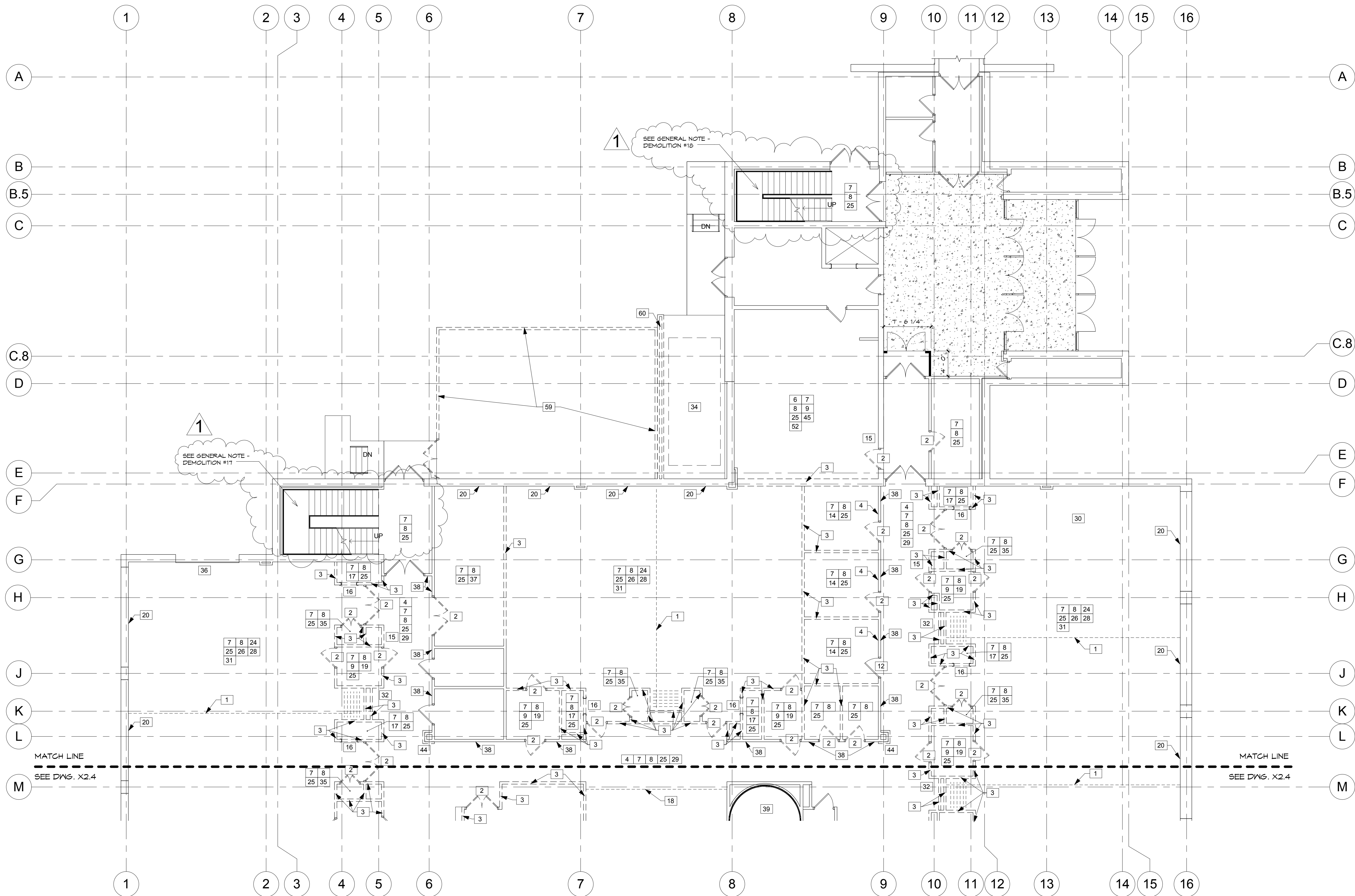
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OCTOBER 17, 2012

PROJECT NUMBER:  
3395

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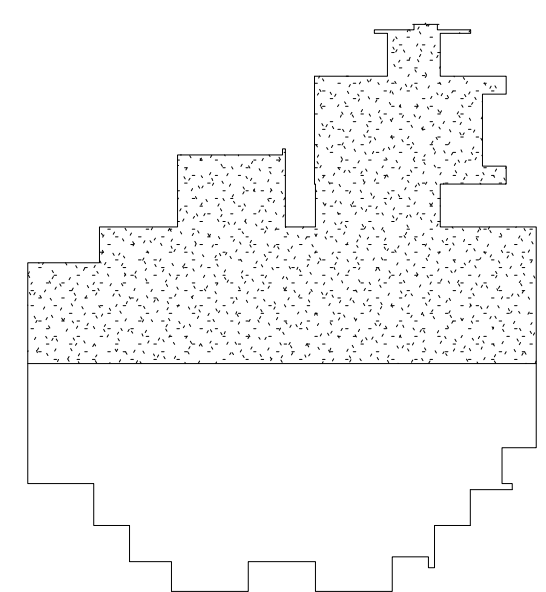




**LARGE SCALE FIRST FLOOR DEMOLITION PLAN - SECTION A**

SCALE: 1/8" = 1'-0"

NOTE: SEE DRAWING A0.1 FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.



KEY PLAN

revisions		
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ARCHITECTS, P.C.

ALTERATIONS TO  
WILDWOOD  
CONFERENCE CENTER  
HARRISBURG AREA  
COMMUNITY COLLEGE  
HARRISBURG, PA

LARGE SCALE FIRST  
FLOOR DEMOLITION  
PLAN - SECTION A

EARLY DEMOLITION  
PACKAGE

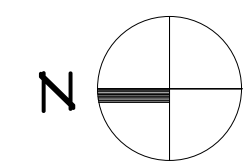
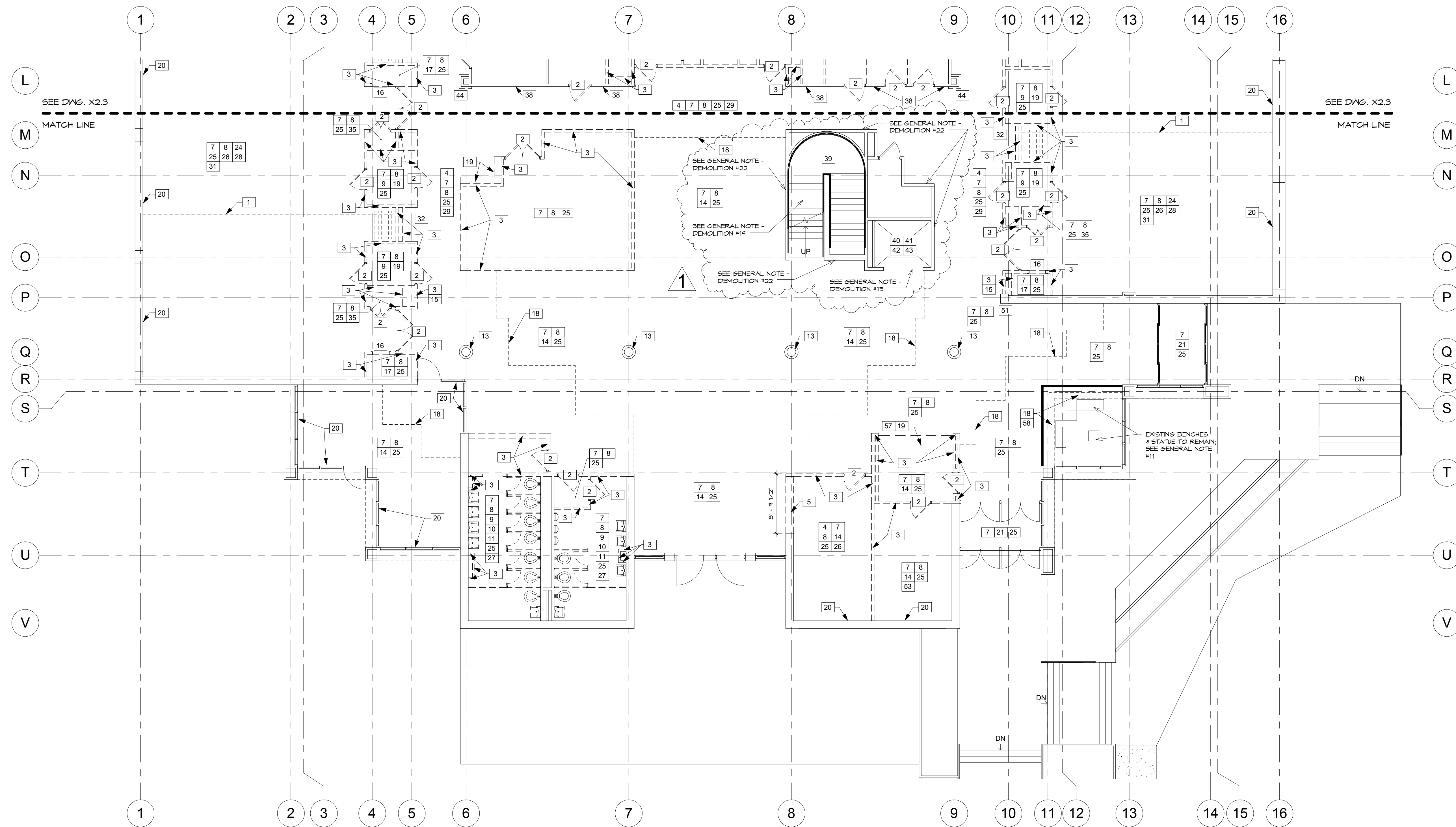
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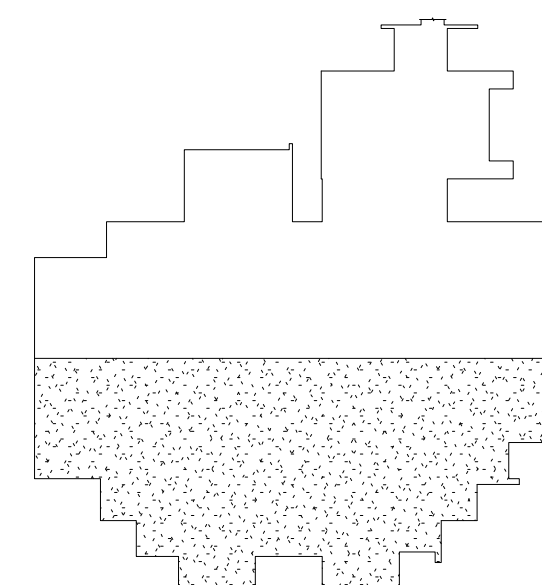
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**X2.3**



# **LARGE SCALE FIRST FLOOR DEMOLITION PLAN - SECTION B**

SCALE: 1/8" = 1'-0"

NOTE: SEE DRAWING A0.1 FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.



KEY PLAN

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ALTERATIONS TO  
WILDWOOD  
CONFERENCE CENTER  
HARRISBURG AREA  
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HARRISBURG, PA

LARGE SCALE FIRST  
FLOOR DEMOLITION  
PLAN - SECTION B

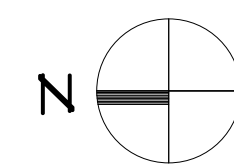
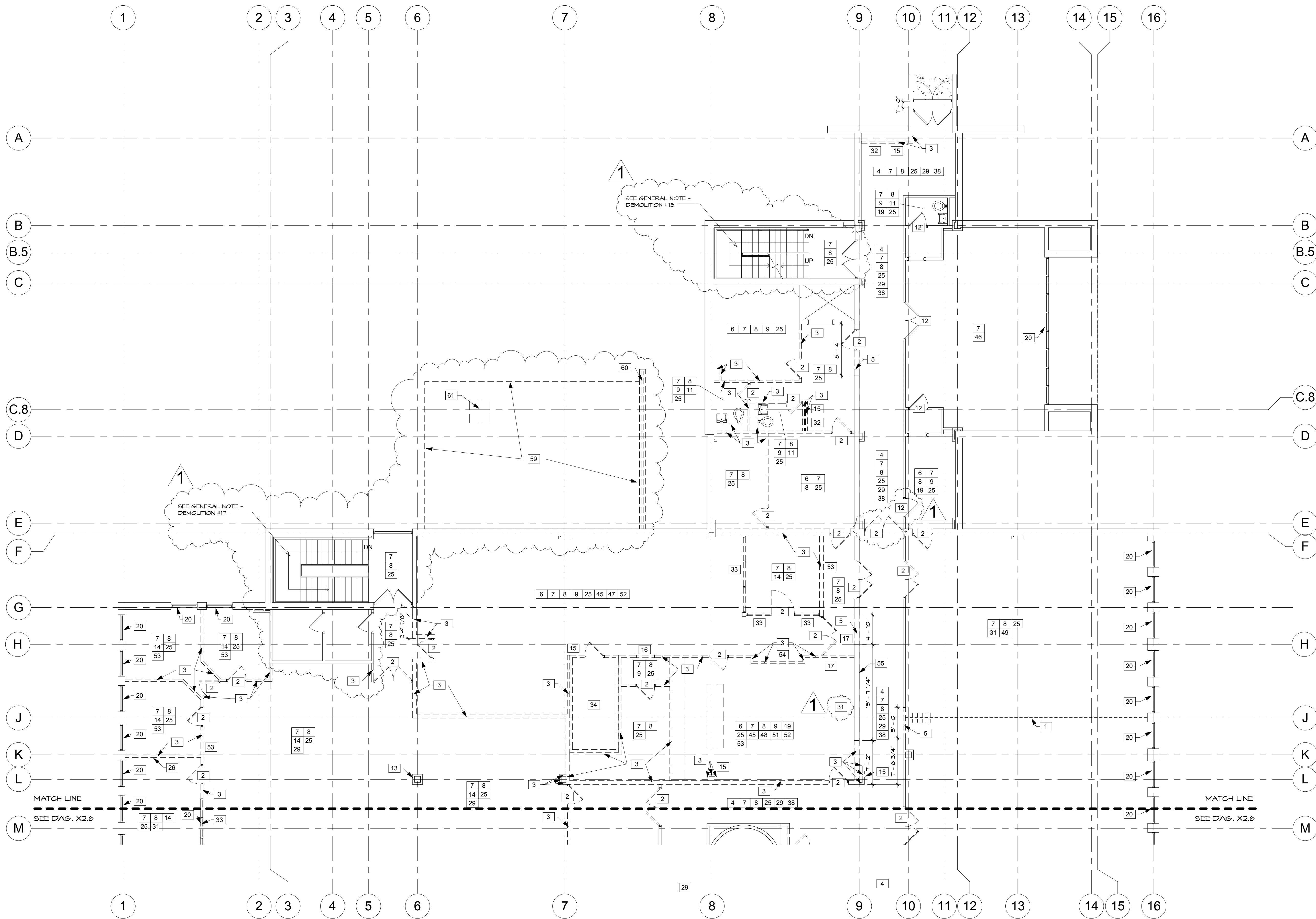
EARLY DEMOLITION  
PACKAGE

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PROJECT NUMBER:  
**3395**

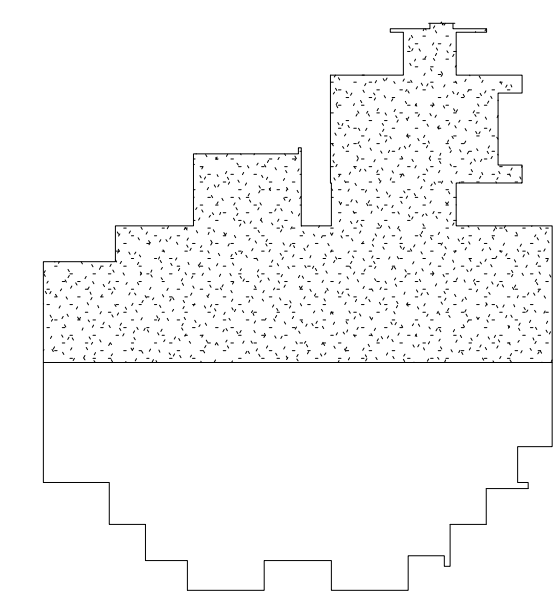
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**LARGE SCALE SECOND FLOOR DEMOLITION PLAN - SECTION A**

SCALE: 1/8" = 1'-0"

NOTE: SEE DRAWING A0.1 FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.



KEY PLAN

revisions		
no.	date	description
1	10/26/12	ADDENDUM #1

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AT THE SITE BEFORE PROCEEDING WITH EACH PHASE OF HIS WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT.

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CONSULTANT: OWNER'S REPRESENTATIVE

EASTERN PCM, LLC

645 N. 12TH STREET

SUITE 200

LEMOYNE, PA 17043

717-233-3816



ALTERATIONS TO  
WILDWOOD  
CONFERENCE CENTER  
HARRISBURG AREA  
COMMUNITY COLLEGE  
HARRISBURG, PA

LARGE SCALE SECOND  
FLOOR DEMOLITION  
PLAN - SECTION A

EARLY DEMOLITION  
PACKAGE

DRAWN BY: TAB  
CHECKED BY: BHD

DATE:  
OCTOBER 17, 2012

PROJECT NUMBER:  
**3395**

SHEET NUMBER:  
**X2.5**

revisions		
no.	date	description
1	10/26/12	ADDENDUM #1

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**MURRAY ASSOCIATES ARCHITECTS, P.C.**

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ALTERATIONS TO  
WILDWOOD  
CONFERENCE CENTER  
HARRISBURG AREA  
COMMUNITY COLLEGE  
HARRISBURG, PA

LARGE SCALE SECOND  
FLOOR DEMOLITION  
PLAN - SECTION B

EARLY DEMOLITION  
PACKAGE

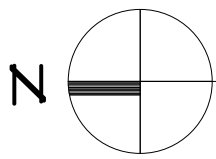
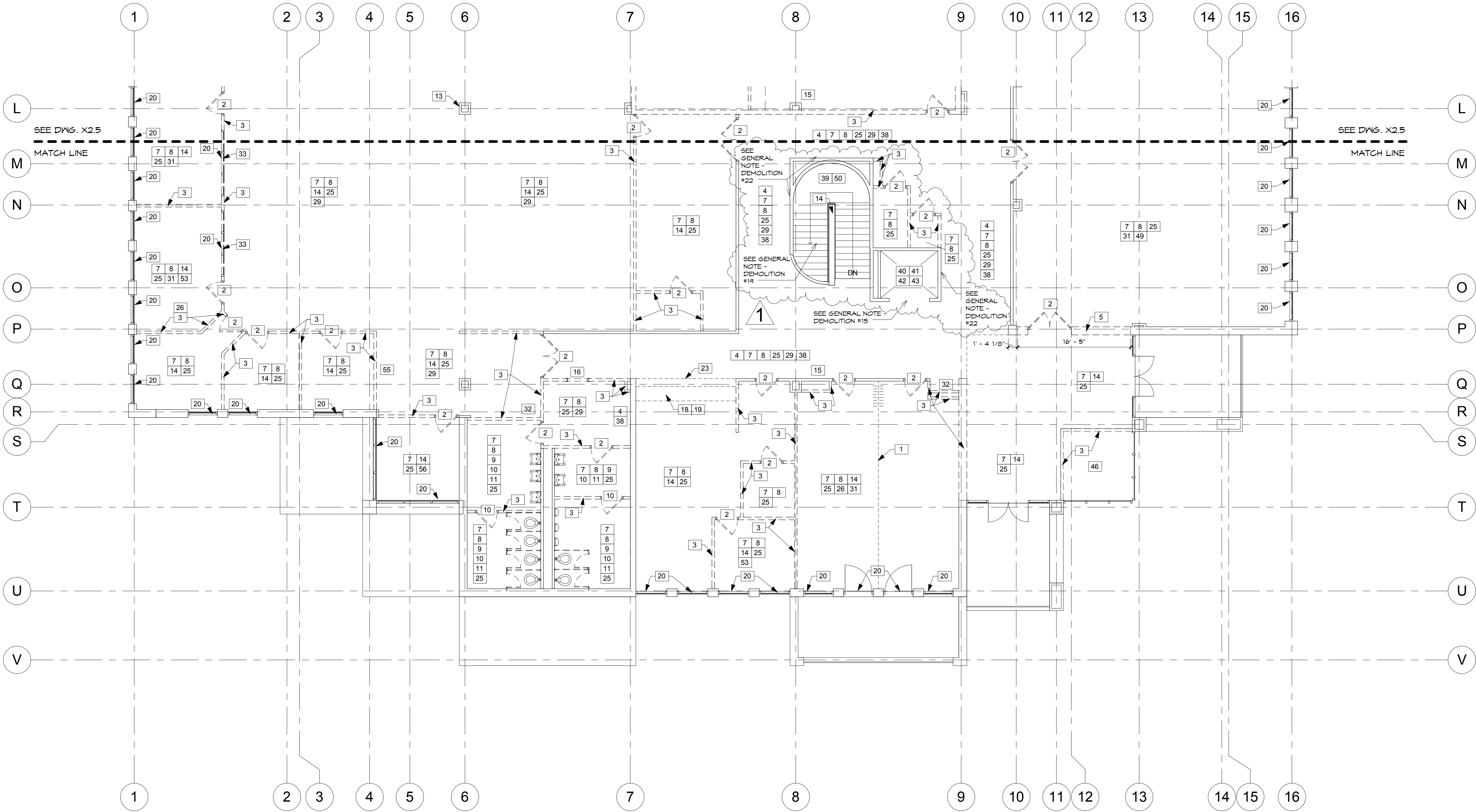
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CHECKED BY:  
BHD

DATE:  
OCTOBER 17, 2012

PROJECT NUMBER:  
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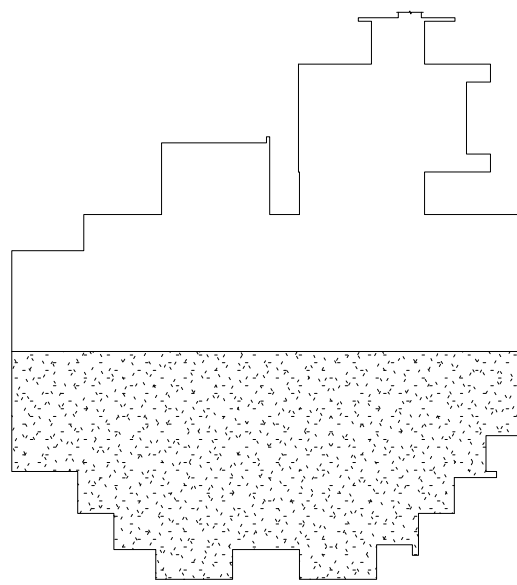
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LARGE SCALE SECOND FLOOR DEMOLITION PLAN - SECTION B

SCALE: 1/8" = 1'-0"

NOTE: SEE DRAWING A0.1 FOR GENERAL NOTES - DEMOLITION AND DEMOLITION KEYNOTES.



KEY PLAN

HACC Central Administration  
Wildwood Conference Center Renovations  
Items Scheduled for Salvage  
10/30/2012

No.	Item	Responsible		Notes
		Entity	Intent	
1	Food Service Equip	HACC FMD	Storage	Will be removed prior to Demolition
2	Furniture	HACC FMD	Storage	Will be removed prior to Demolition
3	Artwork	HACC FMD	Storage	Will be removed prior to Demolition
4	Tackboards	HACC FMD	Storage	Will be removed prior to Demolition
5	Map Rails	HACC FMD	Storage	Will be removed prior to Demolition
6	Tack Strips	HACC FMD	Storage	Will be removed prior to Demolition
7	Display Cases	HACC FMD	Storage	Will be removed prior to Demolition
8	Lockers	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
9	Planters	HACC FMD	Storage	Will be removed prior to Demolition
10	TV's/Brackets	HACC FMD	Storage	Will be removed prior to Demolition
11	Stone countertop	<b>Contractor</b>	Remain	Protect in place
12	Statue	<b>Contractor</b>	Remain	Protect in place
13	Signage	HACC FMD	Storage	Will be removed prior to Demolition
14	Projection Screens	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
15	Cherry doors/hardware	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
16	Cherry trim/paneling	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
18	Culinary Signage letters	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
19	Fire alarm devices	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
20	Fire extinguishers/cabinets	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
21	Toilet accessories	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
22	drinking fountains	<b>Contractor</b>	To HACC	Palletize and deliver to HACC
23	coat racks	HACC FMD	Storage	Will be removed prior to Demolition
24	shelving	HACC FMD	Storage	Will be removed prior to Demolition
25	Rugs	HACC FMD	Storage	Will be removed prior to Demolition
29	Thermostats	HACC FMD	Storage	Will be removed prior to Demolition
30	Breakers in dimming racks	HACC FMD	Storage	Will be removed prior to Demolition
31	Incandescent wall dimmers	HACC FMD	Storage	Will be removed prior to Demolition
32	120v GFI receptacles	HACC FMD	Storage	Will be removed prior to Demolition
33	LED exit signs	HACC FMD	Storage	Will be removed prior to Demolition
34	2'x4' fluorescent troffers	HACC FMD	Storage	30 - 50 fixtures will be removed prior to Demolition
35	4" recessed light fixtures	HACC FMD	Storage	Approx. 30 fixtures will be removed prior to Demolition
36	Water source heat pumps	HACC FMD / <b>Contractor</b>	pull parts	Contractor shall stage all heat pumps at the project site for (5) days and provide access for Owner to remove parts.
37	Audio/Visual Equipment	HACC FMD	Storage	Will be removed prior to Demolition

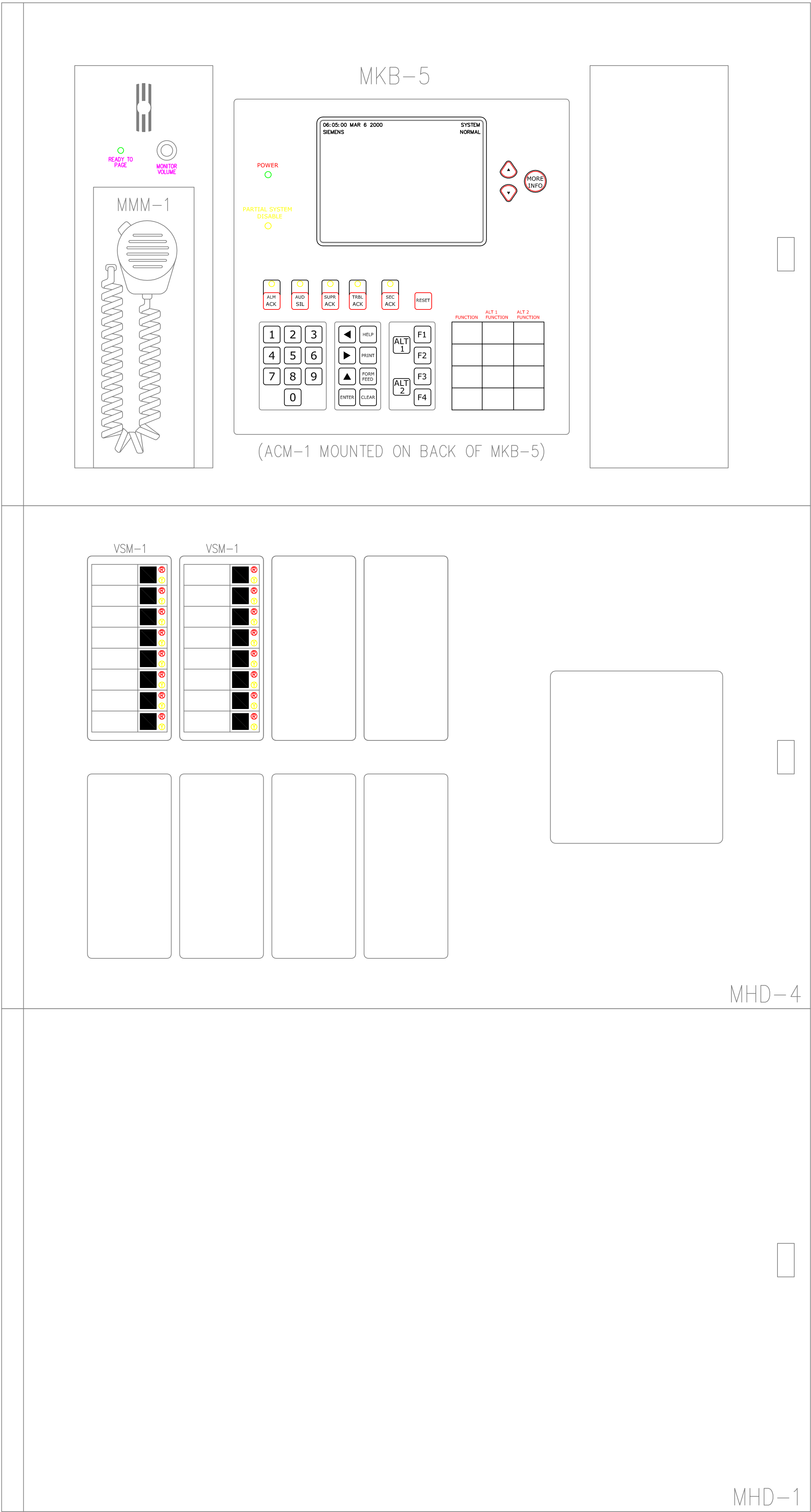




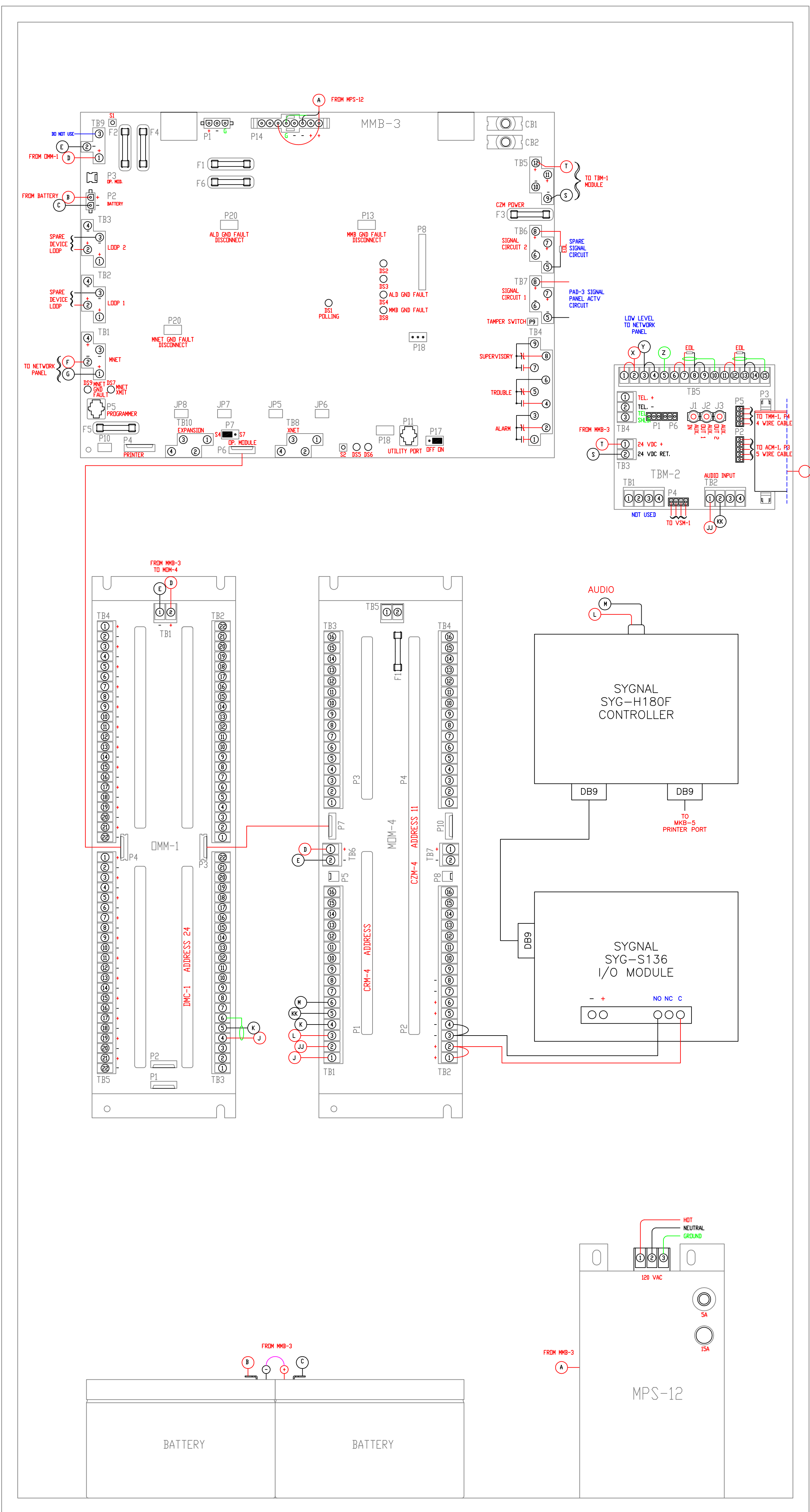








MXLV FIRE ALARM CONTROL PANEL



MXLV FIRE ALARM CONTROL PANEL  
LOCATION: VESTIBULE  
ELECTRICAL PANEL CEN, LOCATED IN MECH PENT, BREAKER #18

THESE DRAWINGS ARE PREPARED PER PLANS AND SPECIFICATIONS FOR THIS PROJECT. THEY HAVE NOT BEEN REVIEWED FOR STATE AND LOCAL CODE COMPLIANCE.

DRAWING NUMBER  
FA19.200

PROJECT:  
HARRISBURG AREA  
COMMUNITY COLLEGE  
MUMMA HALL-WILDWOOD CONF CTR  
HARRISBURG PA

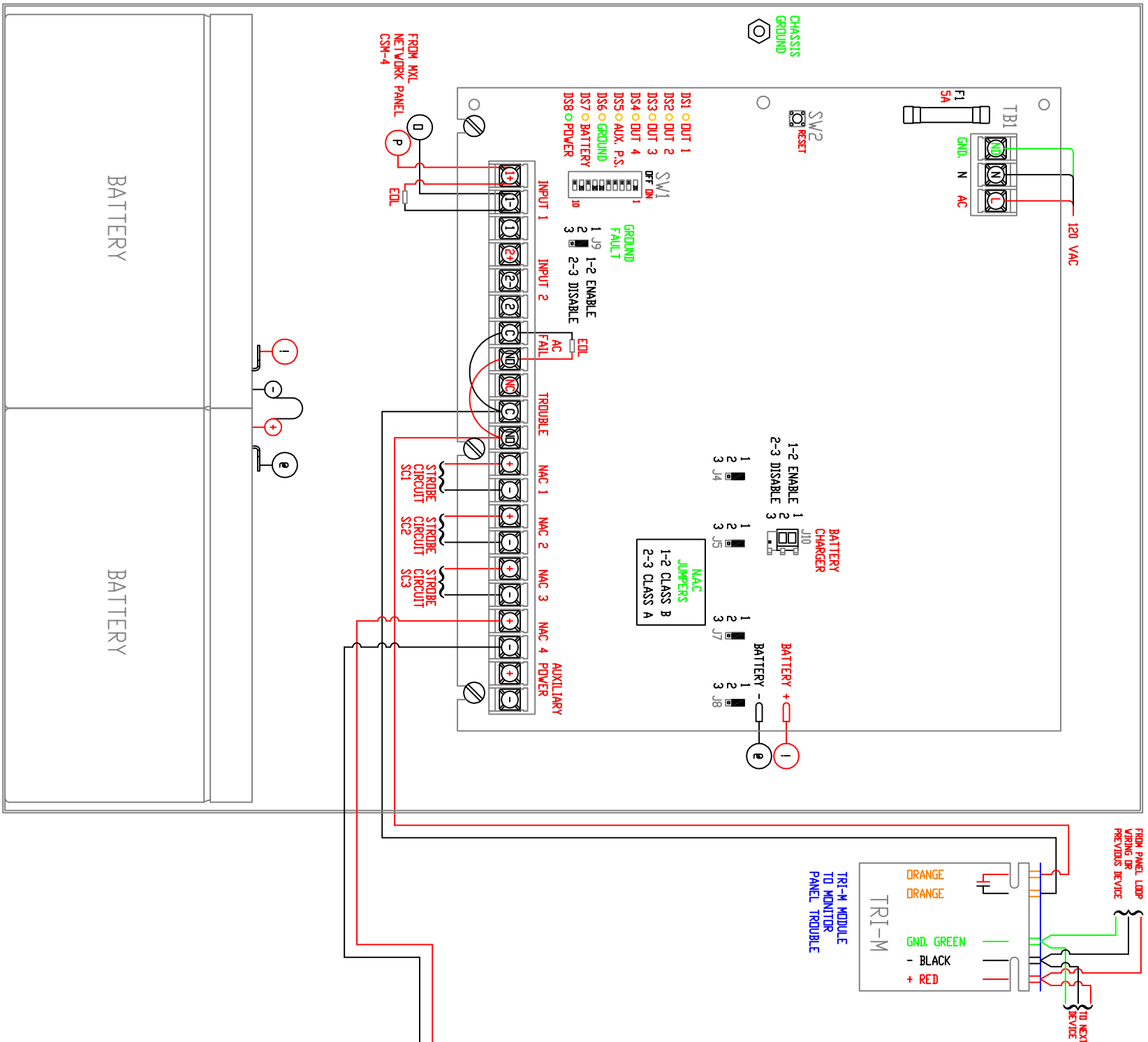
TITLE:  
MXL FIRE ALARM PANEL

**Berkshire Systems Group, Inc.**  
Corporate Office  
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DRAWING FILE: MUMMA HALL-WILDWOOD CONFERENCE CTR

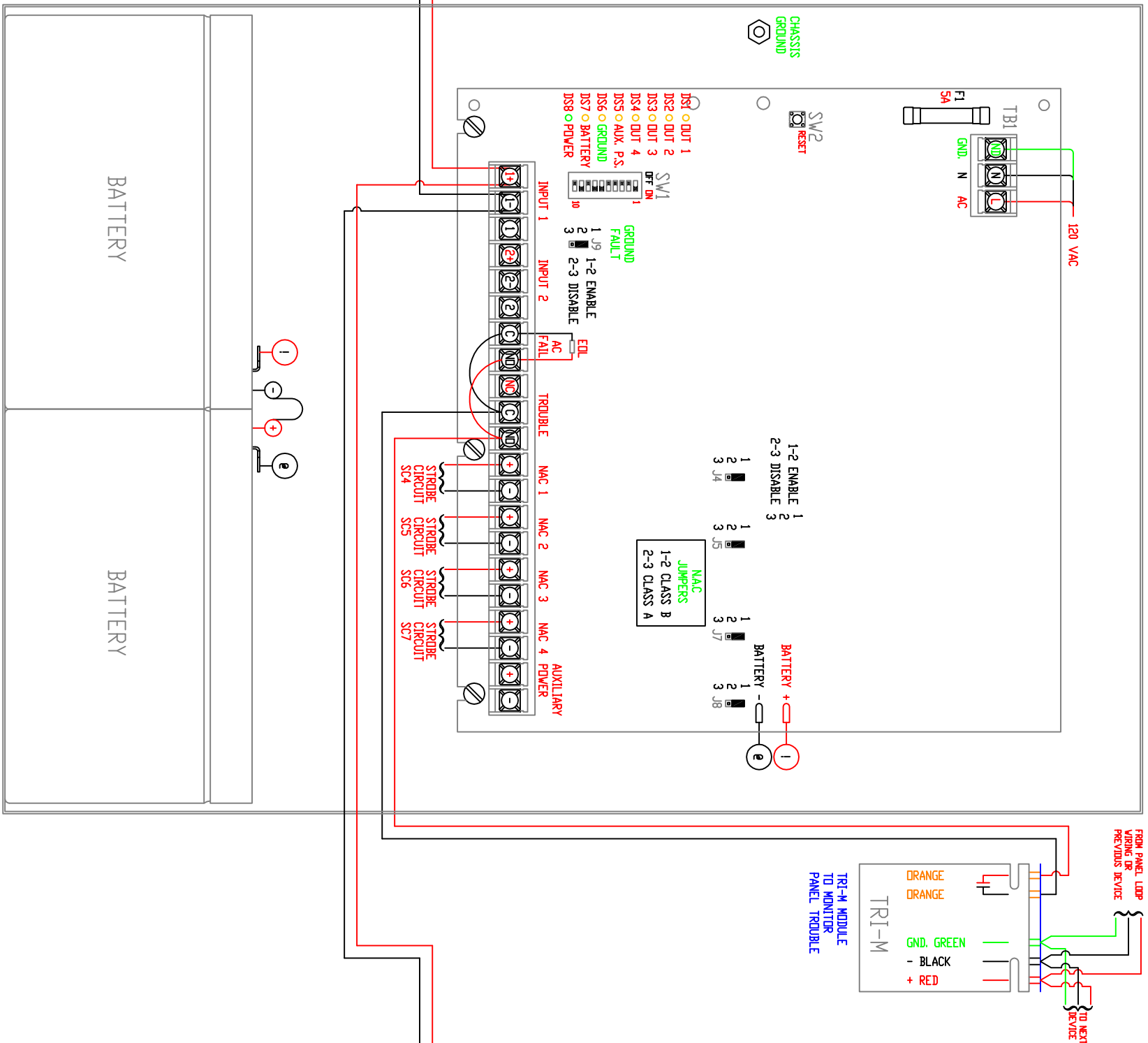
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DHS	10/13/11	DRAWINGS OF RECORD			
1/8" = 1' - 0"					
DJ02795					



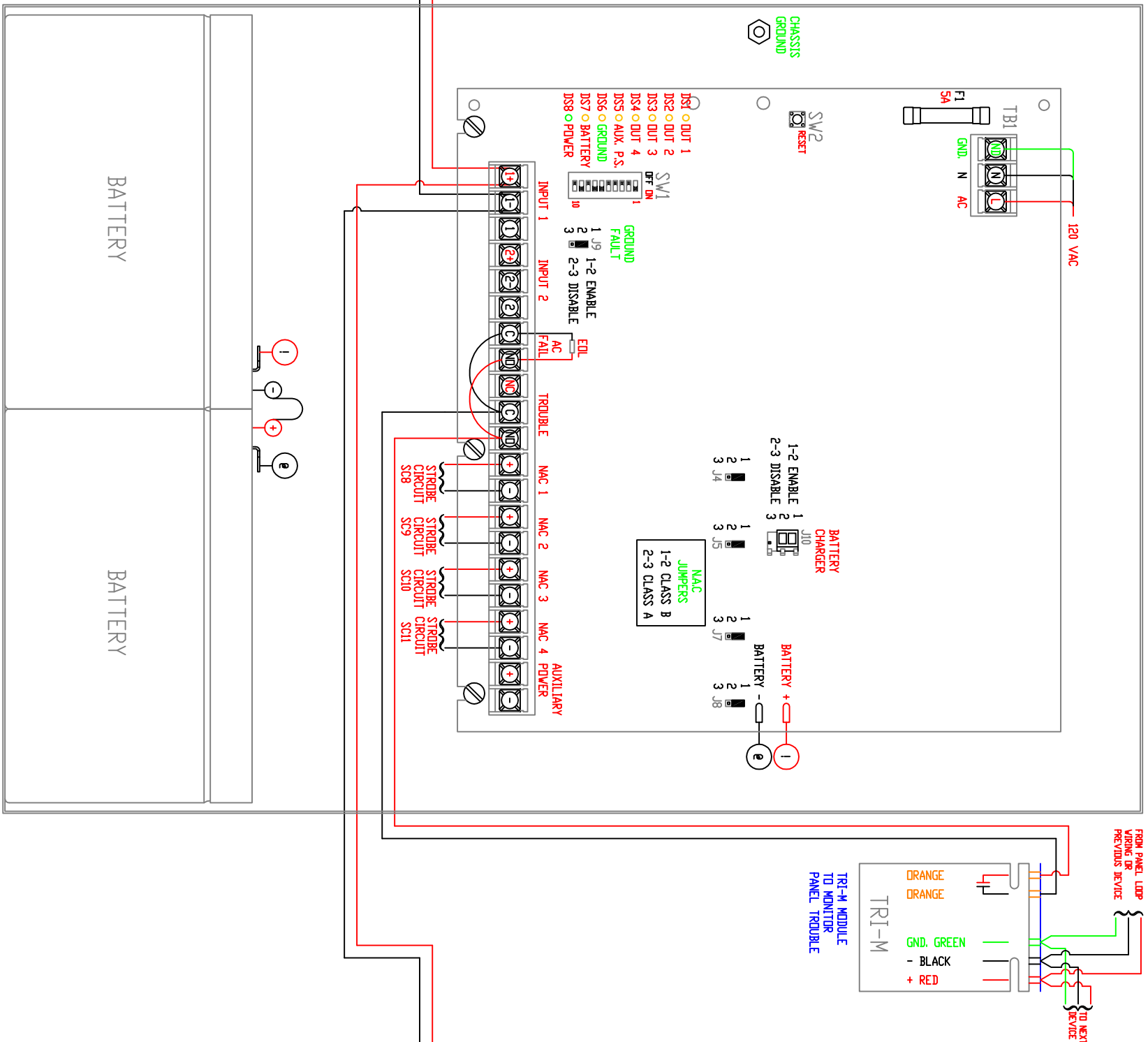




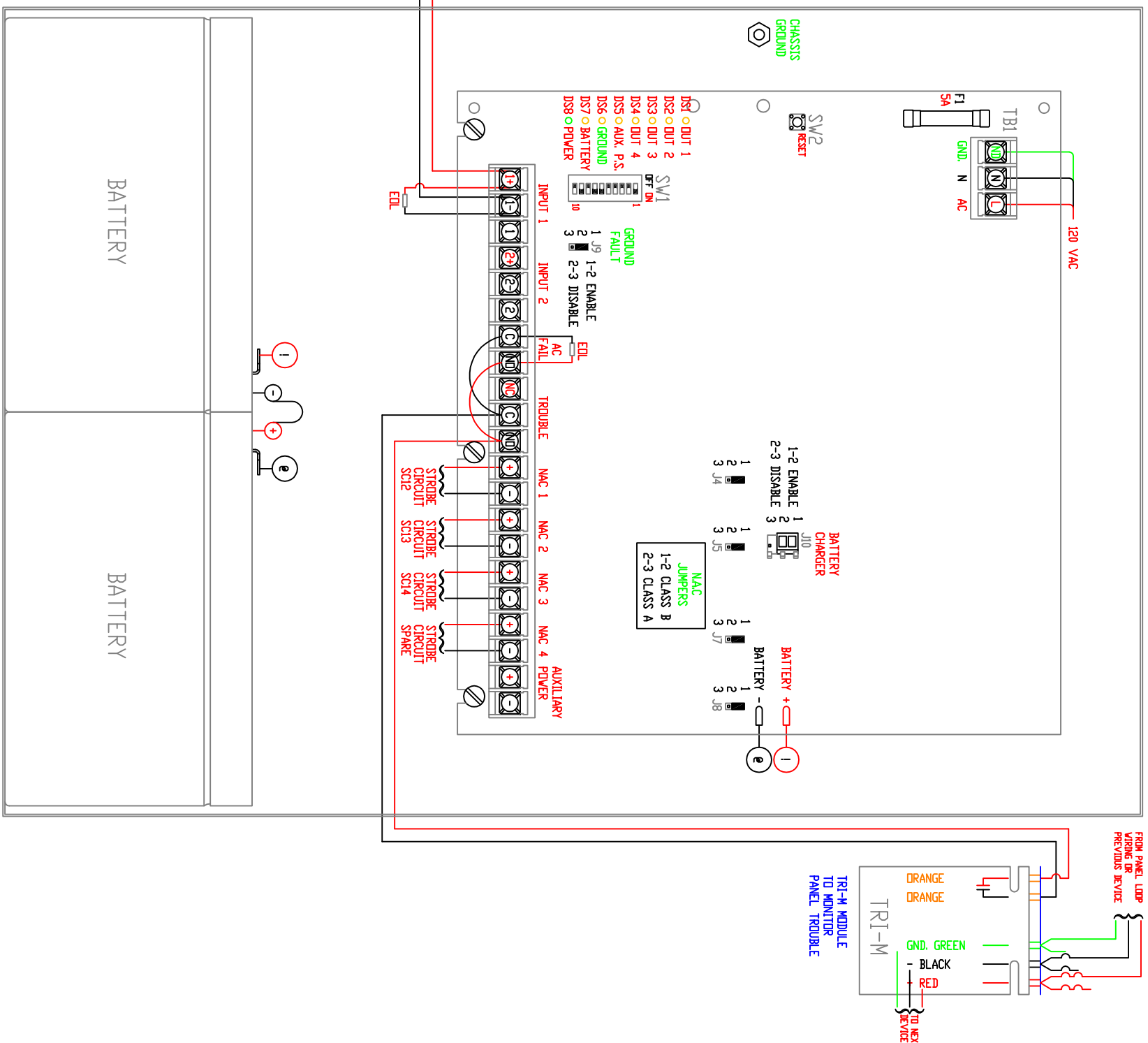
PAD-3 FIRE ALARM STROBE PANEL  
LOCATION: MECHANICAL PENTHOUSE  
ELECTRICAL PANEL CEN, LOCATED IN MECH PENIT, BREAKER #2



PAD-3 FIRE ALARM STROBE PANEL  
LOCATION: MECHANICAL PENTHOUSE  
ELECTRICAL PANEL CEN, LOCATED IN MECH PENIT, BREAKER #2



PAD-3 FIRE ALARM STROBE PANEL  
LOCATION: MECHANICAL PENTHOUSE  
ELECTRICAL PANEL CEN, LOCATED IN MECH PENIT, BREAKER #1



PAD-3 FIRE ALARM STROBE PANEL  
LOCATION: MECHANICAL PENTHOUSE  
ELECTRICAL PANEL CEN, LOCATED IN MECH PENIT, BREAKER #1

PANEL: MXLV FIRE ALARM CONTROL PANEL  
LOCATION: VESTIBULE

Qty	Part Number	Description	Supv Current	Alarm Current	Supv Alarm	Total Alarm
1	MMB-3	MAIN CONTROL	0.280	3.280	0.280	3.280
1	MMB-5	MAIN DISPLAY	0.300	0.300	0.300	0.300
1	ACM-1	AUDIO CONTROL MODULE	0.085	0.085	0.085	0.085
2	VSM-1	SWITCH MODULE	0.017	0.160	0.034	0.320
1	DMC-1	DIGITAL MESSAGE MODULE	0.050	0.050	0.050	0.050
1	CZM-4	CONVENTIONAL ZONE MODULE	0.055	0.750	0.055	0.750
TOTAL SUPERVISORY CURRENT						0.804
TOTAL ALARM CURRENT						4.785
NUMBER OF STANDBY HOURS REQUIRED						24
TOTAL A.H. FOR STANDBY (TOTAL SUPERVISORY CURRENT x STANDBY HOURS)						19.296
LENGTH OF ALARM OPERATION IN HOURS						.083
TOTAL A.H. FOR ALARM OPERATION (TOTAL ALARM CURRENT x ALARM HOURS)						0.397
TOTAL A.H. FOR SUPERVISORY AND ALARM OPERATION (SUPV AH + ALARM AH)						19.336
TOTAL AH x BATTERY DERATING FACTOR 1.2						23.203
TOTAL AH x BATTERY SAFETY FACTOR 20%						27.843

BATTERIES REQUIRED ARE 28 AH (OR LARGER)

MODULES THAT DO NOT DRAW CURRENT: MON-2, MON-4, MPS-6, MPS-12, MMW-1, OMW-1, OMW-2, PLC-4, TBM-2

PANEL: PAD-3 SIGNAL PANEL

Qty	Part Number	Description	Total Supv Alarm
1	PAD-3	SIGNAL PANEL	0.035 6.140*
TOTAL SUPERVISORY CURRENT			0.035
TOTAL ALARM CURRENT			6.140
NUMBER OF STANDBY HOURS REQUIRED			24
TOTAL A.H. FOR STANDBY (TOTAL SUPERVISORY CURRENT x STANDBY HOURS)			0.84
LENGTH OF ALARM OPERATION IN HOURS			.083
TOTAL A.H. FOR ALARM OPERATION (TOTAL ALARM CURRENT x ALARM HOURS)			0.509
TOTAL A.H. FOR SUPERVISORY AND ALARM OPERATION (SUPV AH + ALARM AH)			1.349
TOTAL AH x BATTERY DERATING FACTOR 1.2			1.619
TOTAL AH x BATTERY SAFETY FACTOR 20%			1.943

BATTERIES REQUIRED ARE 2 AH (OR LARGER)

\* CALCULATED FOR MAXIMUM LOAD.

PANEL: NETWORK PANEL  
LOCATION: MECHANICAL PENTHOUSE

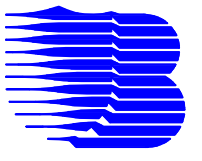
Qty	Part Number	Description	Supv Current	Alarm Current	Supv Alarm	Total Alarm
1	PSR-1	NETWORK PANEL POWER SUPPLY	0.070	0.070	0.070	0.070
1	NET-4	LOCAL NETWORK MODULE	0.005	0.005	0.005	0.005
1	CSN-4	SIGNAL MODULE	0.010	3.034	0.010	3.034
2	AD-21	ADDRESSABLE DEVICE MODULE	0.175	0.175	0.350	0.350
1	NIM-1W	GLOBAL NETWORK MODULE	0.070	0.070	0.070	0.070
1	OCC-1	OUTPUT CONTROL MODULE	0.017	0.017	0.017	0.017
1	ASC-1	AMPLIFIER SUPERVISORY MODULE	0.022	0.041	0.022	0.041
1	ZCI-8B	OUTPUT MODULE	0.019	0.170	0.019	0.170
1	D2300CP	FIBER DRIVER MODULE	0.050	0.050	0.050	0.050
1	EL410D	AMPLIFIER	0.200	9.500	0.200	9.500
TOTAL SUPERVISORY CURRENT						0.813
TOTAL ALARM CURRENT						13.307
NUMBER OF STANDBY HOURS REQUIRED						24
TOTAL A.H. FOR STANDBY (TOTAL SUPERVISORY CURRENT x STANDBY HOURS)						19.512
LENGTH OF ALARM OPERATION IN HOURS						.083
TOTAL A.H. FOR ALARM OPERATION (TOTAL ALARM CURRENT x ALARM HOURS)						1.104
TOTAL A.H. FOR SUPERVISORY AND ALARM OPERATION (SUPV AH + ALARM AH)						20.616
TOTAL AH x BATTERY DERATING FACTOR 1.2						24.739
TOTAL AH x BATTERY SAFETY FACTOR 20%						29.687

BATTERIES REQUIRED ARE 30 AH (OR LARGER)

MODULES THAT DO NOT DRAW CURRENT: MMW-2, MON-4, MPS-6, MPS-12, MMW-1, OMW-1, OMW-2, PLC-4, TBM-2

THESE DRAWINGS ARE PREPARED PER PLANS AND SPECIFICATIONS FOR THIS PROJECT. THEY HAVE NOT BEEN REVIEWED FOR STATE AND LOCAL CODE COMPLIANCE.

DRAWING NUMBER  
FA19.202



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DRAWING FILE: MUMMA HALL-WILDWOOD CONFERENCE CTR

TITLE:  
PAD-3 SIGNAL PANELS AND BATTERY CALCULATIONS

PROJECT:  
HARRISBURG AREA COMMUNITY COLLEGE  
MUMMA HALL-WILDWOOD CONF CTR  
HARRISBURG PA



